



CITY OF NORTH OAKS

Regular Planning Commission Meeting
Thursday, October 26, 2023
7:00 PM, Community Meeting Room, 100 Village Center Drive
MEETING AGENDA

Remote Access - *Planning Commission members will participate in person in Council Chambers (Community Room, 100 Village Center Drive, Suite 150, North Oaks, MN) during the meeting. Members of the public are welcome to attend. Any person wishing to monitor the meeting electronically from a remote location may do so by calling the following Zoom meeting videoconference number: 1-312-626-6799, Webinar ID: 864 5797 4647 or by joining the meeting via the following link: <https://us02web.zoom.us/j/86457974647>.*

1. Call To Order

2. Roll Call

3. Pledge

4. Citizen Comments - *Members of the public are invited to make comments to the Planning Commission during the public comments section. Up to four minutes shall be allowed for each speaker. No action will be taken by the Commission on items raised during the public comment period unless the item appears as an agenda item for action.*

5. Approval of Agenda

6. Approval of Previous Month's Minutes

6a. Approval of the Planning Commission Meeting Minutes from September 28, 2023
[Planning Commission Minutes 9.28.2023.pdf](#)

7. Business Action Items

7a. Discussion on amending Chapter 150 of the North Oaks City code regarding garages and accessory structure sizes
[2023-10-26 PC Packet_garage size ordinance.pdf](#)

7b. Discussion on amending Chapter 150 of the North Oaks City Code regarding building height, setbacks, and topography
[2023-10-26 PC Packet_setback ordinance.pdf](#)

8. **Commissioner Report(s)**

9. **Adjourn** - *The next meeting of the Planning Commission TBD.*

**North Oaks Planning Commission
Meeting Minutes
City of North Oaks Community Meeting Room
September 28, 2023**

1. CALL TO ORDER

Chair Cremons called the meeting to order at 7:00 p.m.

2. ROLL CALL

Present: Chair David Cremons, Commissioners Grover Sayre III, Bob Ostlund, Stig Hauge,

Joyce Yoshimura-Rank, Nick Sandell

Absent: Scott Weins

Staff Present: Administrator Kevin Kress, City Attorney Bridget Nason, City Planner Kendra Lindahl and Mark Azman (via Zoom)

Others Present: Videographer Kenny Ronnan

A quorum was declared present

3. PLEDGE OF ALLEGIANCE

Chair Cremons led the Council in the Pledge of Allegiance.

4. CITIZEN COMMENTS

There was no one present in the room, or online wishing to make comments.

5. APPROVAL OF AGENDA

MOTION by Yoshimura-Rank, seconded Hauge, to approve the agenda with the addition of discussing the upcoming Planning Commission meeting calendar. Motion carried unanimously.

6. APPROVAL OF PREVIOUS MONTH'S MINUTES

a. Approval of August 31, 2023 Minutes

Commission Ostlund mentioned that Page 5 should state "flushing out the ordinance". Hauge made motion on item 7, page 4.(not Sayre). Kress also mentioned the correction of the word "Riparian lot".

MOTION by Hauge, seconded by Yoshimura-Rank, to approve the Planning Commission Meeting Minutes of August 31, 2023 with adjustments as noted. Motion carried unanimously. Sayre abstained.

7. BUSINESS ACTION ITEMS

a. Public Hearing- Amending City Code Title XV, Chapter 151, regarding solar energy system ordinance. Discussion of possible action on ordinance.

- Chair Cremons noted this solar ordinance is as a result of Incarnation Lutheran Church request for ground mounted solar. Church will still have to apply for CUP and be subject to Public Hearing, however an amendment provides a process for them to submit an application for review.
- Planner Lindall reviewed the amended solar ordinance proposal. City code states that if a use is not specifically addressed in code, it is denied. There would be no means for Planning Commission and Council to discuss a request if someone to bring an application for review. This would provide a path for review.
- The key points include: allowance of ground-mounted solar in limited areas. Requires CUP application and review process, only in RSM zoned district, must be in side or rear yard, must meet all principal building setbacks. Landscaping is required to buffer the panels, and requires a 10 acre minimum lot size. There are only 3 parcels in City that would qualify and none of them are within the North Oaks Homeowners Association boundary.
- The Planning Commission options are: move to approve as drafted, move to recommend with modifications, recommend denial with findings for denial, recommend continuance of the application based on the need for more information.

MOTION by Sayre, seconded by Yoshimura-Rank, to open the public hearing at 7:09 p.m. Motion carried unanimously.

There were no members of the public in the Community Room or on zoom. No comments by the public.

MOTION by Yoshimura-Rank seconded by Hauge, to close the public hearing at 7:11 p.m. Motion carried unanimously.

- City Administrator Kress mentioned he has gotten a few phone calls from residents in the RSM district asking why the acreage was so high. There were some with 3 acres that were interested in solar.
- Commissioner Hauge mentioned that the person he spoke to was concerned with neighboring property values, as well as concerns about taking down trees to put in solar.
- Chair Cremons noted the amendment as draft is more straightforward because it effects only properties on very large lots off Hodgson.
- Sayre was concerned if solar is trend in the future, that perhaps smaller lots should also be considered for ground solar.
- Kress noted that if the acreage was lowered than NOHOA would have be involved in this conversation to determine what they would allow.
- Cremons reinforced that this is a good start, and Council can discuss if they wish to further reduce the acreage number.
- Lindall noted the proposed ordinance states the size of array is limited to ½ the size of the home.
- It was requested that the issue of reducing acreage number in the amendment was discussed at length during the Planning Commission meeting. The council would discuss the impact of having the ordinance set between 3 ½ to 10 acres. If set at 3 ½ acres, there would be 20 properties within RSM district that qualify.

MOTION by Cremons, seconded by Yoshimura-Rank, to Amend City Code Title XV, Chapter 151, regarding solar energy system ordinance as drafted. Motion carried 5-1, with, Sayre against.

Commissioner Sayre believes this is where things are headed, and feels we need to address it proactively and make it less impactful to the public. The City, NOHOA and North Oaks company are all parties to the conversation.

Commissioner Ostlund does not believe it is inevitable due to the amount of tree coverage in North Oaks restricting sunlight getting to solar panels.

7b. Public Hearing – Regarding Ordinance amending Chapter 151 of the City Code regarding signs in the RSM-Residential Single-Family medium Density District. Discussion and possible action regarding the ordinance.

- Chair Cremons noted the discussion regarding the sign ordinance came as a result of Peace United Methodist Church approaching Planning Commission requesting an electronic message center sign.
- The sign ordinance amendments would allow: all ECM signs in RSM district, minimum lot size of 3.5 acres, on a arterial or collector street, display for minimum of 8 seconds (no flashing), limit sign lighting to 6 a.m. – 11 p.m., and max sign area of 32 sq. feet (only 16 sq. ft. may be ECM).
- Peace has reviewed the sign and has asked for us to allow us to include the preschool on the sign since they are principal use of the building.
- Planning Commission options: move to approve as drafted, move to recommend with modifications, recommend denial with findings for denial, recommend continuance of the application based on the need for more information.
- The CUP level is unable to control the message.
- Attorney Nason stated that we could detail in the Ordinance what the Planning Commission allows as principal use, plus others on site. As drafted it states only principal use party and secondary use party be allowed.
- Kita Burleson at Peace United Methodist church noted after a recent review of their church, they received very positive feedback however no one knew where they were located. Peace has been part of the North Oaks community for 60 years. The trend for religious organizations is not good, and feels having more eyes on the sign will enhance membership and attendance. Peace can work within the 32 square feet proposed. They are asking permission within the ordinance to allow Peace to apply to for Electronic messaging to help display the various functions of the church. She noted that the Preschool are a key secondary user working onsite Monday through Friday, contribute to the building cost and would be helping fund the sign. They would also be conscious of light pollution in the evening with light lamination.
- Hauge indicated Incarnation has more space around them than Peace, and inquired if they had spoken to neighbors of the church about the sign.
- Peace stated they had not, however the direction of the sign perpendicular to the road means it would not be facing any homes. The maximum daytime brightness of the planned LED sign is 7,000 nits.
- Lindall stated our ordinance is based on foot candles. There was discussion within Commission on whether to reference nits or footcandles. We used footcandles like Shoreview because it uses

ambience light. This is the standard in the industry. Nits are an LED brightness terminology, and they would work together to ensure the standards are met.

MOTION by Hauge, seconded by Yoshimura-Rank, to open the public hearing at 8:05 p.m. Motion carried unanimously.

There were no members of the public in the Community Room or on zoom. No comments by the public.

MOTION by Yoshimura-Rank seconded by Sayre, to close the public hearing at 8:06 p.m. Motion carried unanimously.

Cremons suggested to modify ordinance with the allowance of Principal Use and secondary user business name to be placed permanently on the sign, with Electronic message to be changed to highlight other temporary users such as the Boy Scouts.

The intent is to have the permanent uses of the building on the fixed part of the monument sign, with the temporary uses within the Electronic message.

MOTION by Sayre, seconded by Hauge, to approve the ordinance as drafted, with the change to also allow secondary use shown on the monument sign. Motion carried unanimously.

7c. Discussion on amendments to Chapter 150 of the City Code regarding the garage size

- Chair Cremons noted that the Planning Commission has had to review many CUP request for garage in excess of 1,500 square feet but less than 3,000 as allowed by ordinance over the years. With the exception of 1, they have all been approved as they have been all conditions detailed in ordinance. Each Cup request costs homeowner money, time, City Staff, Planning Commission, and Council preparation and meeting time. They have also send a building trench that garage sizes have grown over the years.
- The current ordinance is garages over 1,500 square feet, but up to 3,000 square feet are allowed with CUP approval by Planning Commission and City Council.
- If the threshold was moved up to 2,000 square feet there would be many CUP's that would not need review, however it would still be subject the garage not exceeding 50% of the home size. This would keep the home size in check. The garage would also still have to meet the condition of being in similar architectural style as the home.
- If Planning Commissioners agree a change is warranted, staff would be directed to draft an ordinance and notice it for public hearing for next Planning Commission.
- Planner Lindall showed the chart of past garage CUP requests, the proposed square footage, and year requested. Nearly all were under 2,000 square feet, with only 2 being over 2,500 square feet.
- Commissioner Sandell suggested move the threshold to 2,500 allowed without CUP, with garage no more than 50% proportional of the home footprint. He would like to build controls into the standard building permit application process, which would be more efficient for residents and commission.
- Kress suggested the sub-committee take this feedback and develop guidelines for the Ordinance, or whether this could be an administrative ordinance. The draft will be brought back at the next meeting for review and public input.

7d. Planning Commission Calendar Discussion

Chair Cremons noted the date of the next regular Planning Commission meeting will be October 26, 2023. Unless there is an urgent matter, there will be no planning Commission meetings in November and December.

8. COMMISSIONER REPORT(S)

- Commissioner Weins will be vacating his seat as he is moving out of the country to China. There will be an open seat beginning January 1, 2023 for the remainder of Scott Wein’s 1-year term.
- If Planning Commissioners term is up at the end of December 2023, submit your interest in reappointment to Administrator Kress. The City Council will decide how to make appointments and recommendations in November.
- Yoshimura-Rank asked if the church needed a CUP for the preschool. Kress stated eventually they may look at rezoning church into a more appropriate district.
- Kress shared current information from White Bear Township that they will provide sewer, but not water to Red Forest Way area new single-family homes. Staff will work with Council and North Oaks Company to discuss further in October and November. White Bear Township would also like the City to enforce and have water sprinkling bans for existing homes with water served by White Bear. They are required to do this to comply with DNR per capita restrictions. The next joint power agreement with White Bear Township is not going to include maintenance of the infrastructure and lift stations. The City of North Oaks will have to contract with a separate company for service. Discussions continue on these topics.

9. ADJOURN

Chair Cremons stated the next Planning Commission meeting would be October 26, 2023.

MOTION by Hauge, seconded by Yoshimura-Rank, to adjourn the Planning Commission meeting at 8:39 p.m. Motion carried unanimously by roll call.

Kevin Kress, City Administrator

David Cremons, Chair

Date approved_____



PLANNING REPORT

TO: North Oaks Planning Commission

FROM: Kendra Lindahl, City Planner
Kevin Kress, City Administrator
Bridget Nason, City Attorney

DATE: October 19, 2023

RE: Amendment to Chapter 150 of the City Code Regarding Garage Size

BACKGROUND

A subcommittee made up of Chair Cremons, Council member Azman and staff is meeting monthly to address a number of ordinance amendments that have been identified by staff, the Planning Commission and City Council. Staff will bring individual items to the Planning Commission on a regular basis to present amendments for consideration. This month we are bringing garage size back for discussion.

The Planning Commission reviewed this item at the September 28th meeting. Commissioners noted that the City has approved all but one of the conditional use permit requests and the process seems burdensome as currently drafted. Some Commissioners expressed a desire to reduce the number of CUP requests. Sample language from the subcommittee was provided for review but there was no consensus on what the CUP threshold should be. Staff was directed to provide some examples of how the ordinance change would affect existing properties.

ISSUES AND ANALYSIS

The City requires a conditional use permit for garages exceeding 1,500 sq. ft.

City Code Section 151.005 defines a garage as “An accessory building or accessory portion of the main building which shall not exceed 1,500 square feet.”

Since 2015, the City has received 15 applications for a conditional use permit to exceed this limit. Only one of those applications has been denied as shown on the following table:

ADDRESS	TOTAL SQUARE FOOTAGE OF ALL GARAGE SPACE	EXCESS OVER 1,500 SQUARE FEET	NOTES
23 Phoebe Lane	1,800	300	2015





ADDRESS	TOTAL SQUARE FOOTAGE OF ALL GARAGE SPACE	EXCESS OVER 1,500 SQUARE FEET	NOTES
33 Hill Farm Circle	2,100	600	2017 - Detached garage requested of 1,428. Denied due to excess F.A.R.
9 Red Forest Way	1,969	469	2018 - CUP Detached garage of 1,080
2 Eagle Ridge	1,548	48	2018 - CUP Detached garage of 1,020
26 Evergreen Rd	2,636	1,136	2019 - New construction
33 Mallard	1,826	326	2019 - Converted lower exercise room to garage space
17 Evergreen Rd	1,806	306	2021 - New construction (excess space for RV)
12 Cherrywood	1,627	127	2021 -New construction
3 Eastview	1,916	416	2021 - New construction
14 Cherrywood	1,994	494	2021 - New construction
1 South Deep Lake	2,077	577	2022 - Detached garage
70 west Pleasant Lake	2,302	802	2022 - New Detached garage of 1,152
9 Sandpiper Lane	2,312	812	2023 - Demo / rebuild of new home
8 Cherrywood Circle	2,736	1,236	2023 - New Home. Submitted CUP 5/30/23 - still pending receipt of materials to deem complete
12 Columbine	1,667.5	167.5	2023 - Enlarge existing garage. Scheduled for Council action on 9/21/23





If the City is comfortable with larger garages (as the table suggests), it may be time to consider modifying the standards to reflect the current market and the City’s comfort with larger garages.

It is important to ensure that garages are in scale with the home to avoid the appearance of a garage with an attached house. There are a number of tools available to manage garage size including limits to the square footage or front elevation.

Definitions

The current City Code definitions should not include performance standards. Staff recommends the following changes with underlined text for the proposed additions to the City Code and ~~struck through~~ text for the deletions:

ACCESSORY BUILDING, STRUCTURE, OR USE. A subordinate building, structure, or use which is located on the same lot on which the main building or principal use is situated and which is reasonably necessary and incidental to the conduct of the primary use of the main building or principal use.

CARPORT. An area serving the same purpose as a garage as defined herein, but not entirely enclosed with walls.

GARAGE, PRIVATE. An accessory building (attached or detached) or accessory portion of the main building ~~which shall not exceed 1,500 square feet.~~

PRINCIPAL BUILDING OR USE. The main use of land or buildings as distinguished from subordinate or accessory uses. A PRINCIPAL USE may be either permitted or conditional.

Garage Size Discussion

1. At the September meeting, staff presented the following language from the subcommittee for consideration. The draft ordinances show underlined text for the proposed additions to the City Code and ~~struck through~~ text for the deletions.

Section 151.050(C)(1) of the City Code (permitted accessory uses):

Attached or detached private garage and private carport facilities, provided the structures are constructed in the same architectural style as the principal building or structure. The allowable square footage of and provided that the combined facilities shall not exceed the following:
(a) -1,500 square feet for homes 3,000 square feet or less and
(b) The lesser of 2,000 square feet or 50% of the square footage of the structure for homes exceeding 3,000 square feet.



Section 151.050 (D)9 of the City Code (conditional uses) would be revised as follows:

(9) Garage which exceeds 1,500 square feet for homes 3,000 square feet or less and garages exceeding 2,000 square feet or 50% of the square footage of homes exceeding 3,000 square feet, provided that:

- (a) The garage shall not exceed 3,000 square feet;
- (b) The garage shall be constructed in the same architectural style as the principal building or structure;
- (c) The floor area ratio shall not exceed 0.12;
- (d) No use of the garage shall be permitted other than for private residential noncommercial use; and
- (e) The factors set forth in § 151.076(C) shall be considered.

2. Chair Cremons presented alternative language at the October subcommittee meeting for consideration. The change allows up to 2,000 sq. ft. and eliminates the percentage. The draft ordinances show underlined text for the proposed additions to the City Code and ~~struck through~~ text for the deletions.

Section 151.050(C)(1) of the City Code (permitted accessory uses):

Attached or detached private garage and private carport facilities, provided the structures are constructed in the same architectural style as the principal building or structure and provided that the combined facilities shall not exceed 1,5002,000 square feet;

Section 151.050 (D)9 of the City Code (conditional uses) would be revised as follows:

(9) Garage which exceeds 1,5002,000 square feet, provided that:

- (a) The garage shall not exceed 3,000 square feet;
- (b) The garage shall be constructed in the same architectural style as the principal building or structure;
- (c) The floor area ratio shall not exceed 0.12 or the maximum floor area ratio permitted by the subdivision approval;
- (d) No use of the garage shall be permitted other than for private residential noncommercial use; and
- (e) The factors set forth in § 151.076(C) shall be considered.

- Is the intent to calculate the percentage of garage to living area or the percent of garage to building area after completion? The City Code defines "TOTAL FLOOR AREA. The total area of all stories, as determined using exterior dimensions, including garages that





are not part of the BASEMENT, clerestory area and covered porches and decks.” If that is the intent the draft language should be revised to reference total floor area.

Staff reviewed the last four conditional use permits submitted to the City to determine the impact of the change proposed. The analysis shows that three of the four would still require a CUP under the draft ordinance. However, nine of the last 15 CUPs would have been permitted without a CUP.

PROJECT	ATTACHED GARAGE		DETACHED GARAGE		TOTAL GARAGE (SF)	HOUSE SIZE (SF)*	TOTAL FLOOR AREA
	PRE-EXISTING (SF)	NEW ADDITION (SF)	PRE-EXISTING (SF)	NEW ADDITION (SF)			
1 S. Deep Lake Rd	585	N/A	N/A	1,492	2,077	3,700	4,285
70 West Pleasant	1,150	N/A	N/A	1,152	2,302	5,853	7,003
9 Sandpiper	N/A	2,312	N/A	N/A	2,312	6,515	8,827
12 Columbine	908	364	400	N/A	1,672	5,131	6,403

Both 1 South Deep Lake and 70 West Pleasant were granted CUPs for detached garages with recreation space above. The City must ensure that the space above the garage would not be used as an accessory dwelling unit (which is not permitted in the City), but that can be addressed through the building permit process.

Staff reviewed several other cities to determine how they manage garage size. Standards vary widely from community to community. Arden Hills limits the percentage of garage as a front façade. Other cities limit square footage based on lot size and almost all of the cities surveyed allow less garage area than North Oaks currently allows. However, North Oaks has a wider variety of home styles and sizes than some cities. Tying garage size to home size (rather than lot size) will help ensure that that the garage is scaled to the home. While the Arden Hills model of limiting the front percentage of garage face can be valuable it may not be the best tool to address the issues in North Oaks.

Some additional items to consider:

- Staff recommends that condition (c) of the garage conditional use permit standards related to FAR be revised. Some of the subdivisions in the East Oaks



Figure 1-Detached garage at 1 South Deep Lake Road

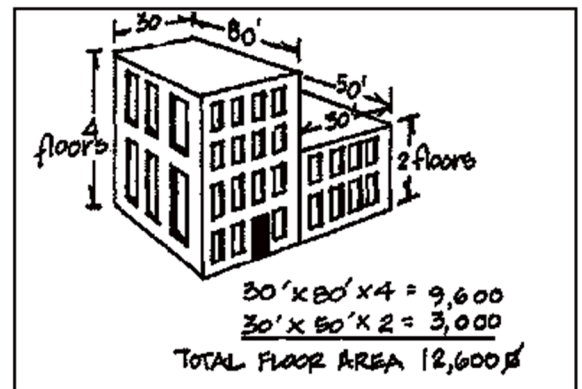


Figure 2 - Detached Garage at 70 West Pleasant



PUD are permitted a FAR of 0.20 and we recommend broader language that would require compliance with the FAR standards for the applicable FAR requirement for the specific property.

- Additionally, the current City Code defines “TOTAL FLOOR AREA. The total area of all stories, as determined using exterior dimensions, including garages that are not part of the BASEMENT, clerestory area and covered porches and decks.” Basement is defined as “A floor level of a building or structure that has less than an average of 50% of the perimeter walls exposed above the lowest grade.”
 - The East Oaks PDA defines “Total Floor Area All building area above or accessible to grade and that part of the Basement area determined by the percentage of the Basement walls that are exposed. Garages are included.”
 - The City of Corcoran defines floor area as: The sum of the gross horizontal areas of the several floors of the building measured from the exterior faces of the exterior walls or from the centerline of walls separating two buildings. The floor area of a building shall include basement floor area, penthouses, attic space having headroom of seven feet or more, interior balconies and mezzanines, lean-tos, enclosed porches and floor area devoted to accessory uses. However, any space devoted to mechanical equipment, stairwells, elevator shafts, parking or loading shall not be included in floor area for the purposes of parking calculations. (*City of Corcoran*)
 - The City of Minnetonka defines floor areas as: for single-family and two-family dwellings, the sum of the following as measured from exterior walls: the fully exposed gross horizontal area of a building, including attached garage space and enclosed porch areas, and one-half the gross horizontal area of any partially exposed level such as a walkout or lookout level. For multiple family dwellings and non-residential buildings, the sum of the following as measured from exterior walls: the fully exposed gross horizontal area of a building and one-half of the gross horizontal area of any partially exposed level such as a walkout or lookout level, excluding interior parking spaces and vehicular circulation areas. For all buildings, if a floor has a height in excess of 15 feet an additional floor will be assumed for every full 15 feet of interior building height. (*City of Minnetonka*)
 - Floor Area, Livable. The heated floor area of a building, above finished grade, measured from the outside dimensions of the exterior walls used for dwelling purposes, and excluding all non-dwelling areas such as attic, storage, carport, and garage. (*Prescott Valley, Ariz.*)





- Floor Area, Livable. Finished living space in a dwelling unit but not including a cellar or garage. (*Jordan, Minn.*)

Questions for the Commission

1. Should the garage calculation be based on Total Floor Area as defined in the City Code today?
2. Does the change to increase the allowed garage area from 1,500 to 2,000 sq. ft. by right and reducing the number of residents that would need a conditional use permit address the Commissioner concerns?

The purpose of the proposed ordinance amendment is to reduce the number of residents required to apply for a conditional use permit for a garage because the process is expensive and time consuming and is generally approved. The intent is to ensure that the ordinance has standards in place to ensure that the garages are scaled appropriately for the home on site. Does the draft language address those concerns if the questions above are addressed?

Attached for reference:

Exhibit A: Summary of other city ordinances

REQUESTED ACTION

The Planning Commission should review the draft ordinance and provide feedback for staff to make edits to the draft for a potential public hearing at the November meeting.



GARAGE STANDARDS RESEARCH

DATE	10/11/23
PROJECT NAME	Ordinance Amendments
PROJECT NUMBER	CNO23005
PROJECT LOCATION	North Oaks, MN
PREPARED BY	Nicholas Ouellette

SINGLE FAMILY GARAGE STANDARDS					
CITY	Notes	Dimension/Size	Location/Setbacks	Architecture	Detached Garages
Arden Hills	Garage standards based on lot width: (1) <50 ft. wide lots (2) <65 ft. wide lots, (3) 65-70 ft. wide lots, and (4) > 70 ft. lots.	(1) Max 24 ft. wide per bay. (2) Max. 24 ft. wide per bay. (3) Up to 3 bays allowed, max. 24 ft. wide per bay. (4) Up to 3 bays allowed, max. 24 ft. wide per bay.	(1) No front access allowed. Locate garage access at rear of lots from alley/general frontage. (2, 3, 4) Front access allowed. (1) None specified. (2, 3, 4) Garage facing street must be setback 3 ft. from front façade line.	(1, 2) None specified. (3) Garage portion not to exceed 55% of front façade area. (4) Garage portion not to exceed 50% of front façade area. (ALL) If garage flush with front façade, a porch measuring 6 ft. deep and 50% of the length of front façade must be added.	- Located in rear yard. - Max. size = 728 sq. ft. in floor area, not to exceed 25% of required rear yard area. - Exterior finish shall match the principal building.
Plymouth	All single family homes must provide for location of a one-stall attached garage. - Construction not required. Accessory buildings or structures may be attached to or detached from the principal building, and typically include (but are not limited to) garages, sheds, storage or workshop areas, docks, gazebos, coops, and the like. Carports are permitted, up to 300 sq. ft. in floor area. The height of carports shall be more than 7 ft. and not exceed 10 ft.	Single family dwellings must provided 2 parking spaces per unit. The gross floor area cannot exceed the gross floor area of the principal building. Max. 1,000 sq. ft. in floor area. - Main and lower level garages may each be 1,000 sq. ft. in floor area. - Garages exceeding 1,000 sq. ft. in floor area may be allowed by CUP.	6 ft. side yard setback. 20 ft. setback to access alley	Buildings greater than 200 sq. ft. shall be designed consistent with the principal building. Height not to exceed principal building. Individual districts may have stricter standards.	Max. 2 accessory buildings allowed per single- or two-family lot. Max size = 200 sq. ft. per building. Setbacks prescribed by zoning district. Not permitted in front yard.

SINGLE FAMILY GARAGE STANDARDS					
CITY	Notes	Dimension/Size	Location/Setbacks	Architecture	Detached Garages
Minnetonka	<p>Garage standards based on dwelling type:</p> <p>(1) Single family detached (2) Single family attached</p> <p>A garage is a detached or attached accessory structure designed or used for the parking and storage of vehicles owned and operated by residents of a principal structure on the same lot.</p>	<p>(1) Plans must provide a 24x24 ft. location for a garage. Parking may be enclosed or unenclosed. (2) One space per unit must be enclosed.</p>	<p>Must comply with principal structure setbacks.</p>	<p>12 ft. height maximum.</p>	<p>Not to exceed:</p> <ul style="list-style-type: none"> - 12 ft. in height - 600 sq. ft. (aggregate) or 30% of the side or rear yard area where the detached garage is located. <p>If located more than 10 ft. from principal structure may be setback 10 ft. from rear/side lot lines.</p> <ul style="list-style-type: none"> - If located in front yard, must be setback 50 ft. from the front lot line.
Shoreview	<p>Garage standards based on lot size:</p> <p>(1) Less than 0.5 acres (2) 0.5-1 acres (3) 1-2 acres (4) 2 acres or more</p> <p>Garages, attached and detached, are considered accessory buildings.</p>	<p>All lot sizes: - 1,000 sq. ft. or 80% of dwelling foundation area, whichever is more restrictive.</p>	<p>Min. front setback = 25 ft Max. front setback = 40 ft. Min. side setback = 5 ft. Min. rear setback = 10 ft.</p>	<p>None specified. Max principal structure height is 35 ft.</p>	<p>Allowable detached accessory building size regulated by whether the dwelling unit has an attached garage.</p> <p>(1) - No attached garage = max. 750 sq. ft. or 75% of dwelling unit foundation area, whichever is more restrictive. - With attached garage = max. 200 sq. ft. (more with CUP)</p> <p>(2) - No attached garage = 1,000 sq. ft. or 80% of dwelling foundation area, whichever is more restrictive. - With attached garage = max. 200 sq. ft. (more with CUP)</p> <p>(3) - No attached garage = max. 750 sq. ft. or 75% of dwelling unit foundation area, whichever is more restrictive. - With attached garage = max. 200 sq. ft. (more with CUP)</p> <p>(4) - No attached garage = max. 750 sq. ft. or 75% of dwelling unit foundation area, whichever is more restrictive. - With attached garage = max. 440 sq. ft. (more with CUP)</p>

SINGLE FAMILY GARAGE STANDARDS					
CITY	Notes	Dimension/Size	Location/Setbacks	Architecture	Detached Garages
Edina	Garage standards based on lot size: (1) Lots 9,000 sq. ft. or greater. (2) Lots less than 9,000 sq. ft.	(1) Building coverage not to exceed 25% of lot area (including attached garages) (2) Building coverage not to exceed 30% of lot area (including attached garages)	Comply with single family dwelling unit setbacks: - Front - 30 ft. - Side street = 15 ft. (20 ft. if garage opens to side street) - Side interior = 12 ft. total, min. 5 ft. on one side - Rear = 25 ft.		Detached accessory buildings may not exceed a total area of 1,000 sq. ft. without a CUP. Maximum height 1.5 stories or 18 ft., whichever is less. Shall be architecturally similar to principal building if situated within 1,500 ft. of the principal building. Front setback = 30 ft. Side street setback = 15 ft. Side interior setback = 5 ft. (3 ft. if entirely in rear yard) Rear yard = 5 ft. (3 ft. if entirely in rear yard)
Vadnais Heights	An accessory building shall be considered an integral part of the principal building if it is connected to the principal building by a covered passageway or is located less than 6 ft. from the principal building.		Comply with district setbacks. Single family district standards: - Front yard setback = 30 ft. - Side yard setback = 10 ft. - Side yard street setback = 20 ft. - Rear yard setback = 25 ft. - Building height = 35 ft.	Not to exceed height of principal structure. Single family dwellings must be at least 20 ft. wide (excluding garages) Any new detached private garage must be architecturally compatible with the principal building.	Max. size = 1,200 sq. ft. of floor area and shall occupy no more than 25% of the rear yard.
Gem Lake		Not to exceed 800 sq. ft. except by CUP.	Setback determined by district standards.	Height not to exceed principal structure or exceed 25 ft.	Height not to exceed principal structure or exceed 25 ft. Located at least 6 ft. from principal structure. 60 ft. setback from public right-of-way - 2 ft. side yard setback. - 3 ft. rear yard setback. Not to exceed 1,000 sq. ft. except by CUP.



PLANNING REPORT

TO: North Oaks Planning Commission

FROM: Kendra Lindahl, City Planner
Kevin Kress, City Administrator
Bridget Nason, City Attorney

DATE: October 19, 2023

RE: Amendment to Chapter 150 of the City Code Regarding Building Height,
Setbacks and Topography

BACKGROUND

A subcommittee made up of Chair Cremons, Council member Azman and staff is meeting monthly to address a number of provisions in the City's existing zoning ordinance that have been identified by staff, the Planning Commission and City Council as areas where revisions to the existing language may be beneficial. Staff will bring individual items to the Planning Commission on a regular basis to present amendments for consideration. This month we are bringing a discussion of the issues related to building height, setbacks and topographical conditions.

The City has been challenged on the existing language related to these items and how to interpret the existing code language. One of the first areas the subcommittee has been reviewing is the current requirement for houses with a height greater than 35 feet to obtain a conditional use permit (CUP). Staff believes that this is something that could be moved into development standards rather than requiring a conditional use permit. If the application meets the standards, staff would approve the building permit.

Deb Breen gathered the CUPs for building height and found 59 CUPs for building height were submitted since 2000. Many of these CUPs were tied to new developments where streets and grading were done prior to home construction. In 2006, an application from 8 Mink Lake was submitted and denied. The application was then revised, resubmitted and approved. Also, it appears that some blanket approvals were granted for Rapp Farms and Red Forest Way so that individual CUPs were not required. Since only one of the applications was denied, this may be an area where the standards could be updated and moved to the permitted section of the Code to eliminate the need for a CUP.

ISSUES AND ANALYSIS

Section 151.050 (D)(7) of the City Code requires a conditional use permit for buildings with a height greater than 35 feet and establishes the following standards:

- (a) The front elevation of the building does not exceed 35 feet in height at any point;
- (b) The building height at any other elevation does not exceed 45 feet;





- (c) The environmental and topographical conditions of the lot prior to building development are naturally suited to the design of a building with an egress or walkout level;
- (d) Buildings shall be limited to a basement and 2 full stories. Finished areas within the roof structure will be considered a full story;
- (e) Any time the side or rear elevations of a building exceeds 35 feet in height within 50 feet of adjacent lot lines, the building line shall be setback an additional 2 feet from the adjacent setback line for each foot in height above 35 feet; and
- (f) Section 151.083 is complied with.

Option 1

Chair Cremons suggested the following language:

- (7) Buildings with a height greater than 35 feet, provided that:
 - (a) The front elevation of the building does not exceed 35 feet in height at any point;
 - (b) The building height at any other elevation does not exceed 45 feet;
 - (c) The environmental and topographical conditions of the lot prior to the commencement of any work on the contemplated construction is reasonably suitable~~building development are naturally suited to the design of a building for the construction of a structure~~ with an egress or walkout level;
 - (d) Buildings shall be limited to a basement and 2 full stories. Finished areas within the roof structure will be considered a full story;
 - (e) Any time ~~the a~~ side or rear elevations of a building exceeds 35 feet in height and such elevation exceeding 35 feet in height is within 50 feet of adjacent side or rear lot lines, the building line otherwise dictated by City ordinance shall be setback an additional 10 feet from that lot lines~~shall be setback an additional 2 feet from the adjacent setback line for each foot in height above 35 feet~~; and
 - (f) Section 151.083 is complied with.

(8) For purposes of subsection c. above, one factor in determining whether a lot satisfies the “reasonably suitable” criteria shall be whether other residences in reasonable proximity to the proposed structure and with similar topographical conditions have been permitted to have egress or walkout levels.

(89) The Lots in Registered Land Survey 527 and 528, also known as Southpointe and South Wildflower Subdivisions, which were approved by the City Council for buildings with walkout levels, are hereby granted the right to seek conditional use permits for the construction of buildings with a height greater than 35 feet, but not exceeding 45 feet, subject to each lot meeting the conditions in Sections 7.6.4(h)(l) through 7.6.4 (h)(vi) and all other provisions of this chapter, except that the procedure as outlined in § 151.079 shall be revised as follows:

- (a) The Zoning Administrator shall review and analyze the request, submit a report to the Planning Commission, and schedule a public hearing for the next regular Planning Commission meeting in accordance with § 151.079(D);
- (b) At the next regular meeting, the Planning Commission will hold the public hearing, make findings of fact, and recommend denial or approval; and



(c) At the following City Council meeting, the City Council will act on the conditional use permit with the approval needing a 4/5 vote of the City Council when at least 4 members are present

Option 2

This section has been the topic of discussion for a number years and pre-dates many of the current staff members. The naturally suited language has been a challenge for the City because there is no standard definition and has been interpreted differently over time. There is no industry standard for this term. We believe that the code should focus on a reasonable amount of cut/fill to construct a new house and the elevation differences at the front to the back of the house post-construction compared to pre-construction. Any new home (or redeveloped home site) will require grading and homes with walkouts will require more grading.

The previous city attorney and city engineer suggested that for environmental conditions to be considered naturally suited, the city should consider using the following criteria:

1. A lot should meet all current City stormwater regulations
2. A house should have a three-foot minimum elevation difference from the basement finished floor elevation to the groundwater elevation, as determined by a geotechnical engineer by a soils investigation.

Staff offers the following alternative draft language based on that recommendation:

(7) Buildings with a height greater than 35 feet, provided that:

- (a) The front elevation of the building does not exceed 35 feet in height at any point;
 - (b) The building height at any other elevation does not exceed 45 feet;
 - (c) The environmental and topographical conditions of the lot prior to building development are naturally suited to the design of a building with an egress or walkout level. Naturally suited shall be defined by lots that meet at least the following criteria:
 - i. A lot should meet all current City stormwater regulations;
 - ii. A house should have a three-foot minimum elevation difference from the basement finished floor elevation to the groundwater elevation, as determined by a geotechnical engineer by a soils investigation;
 - iii. a natural slope in the topography prior to any construction, earthwork or improvements downward from front to rear that organically accommodates a home design with an egress or walkout level. By way of example only, and not as a limitation, a difference in topographical elevation between a front elevation and a rear elevation of the structure of 5 feet or more is within the meaning of naturally suited as used in this section; and - iv. Any other factors that demonstrate the proposed structure is complementary to the natural condition of the land prior to any construction, earthwork or improvements
- (a)(d) Buildings shall be limited to a basement and 2 full stories. Finished areas within the roof structure will be considered a full story;
- (b)(e) Any time the side or rear elevations of a building exceeds 35 feet in height within 50 feet of any adjacent lot lines, the side and rear setback requirements shall be increased



~~by two feet for building line shall be setback an additional 2 feet from the adjacent setback line for each foot in building height above 35 feet; and~~
(f) Section 151.083 is complied with.

Discussion for Planning Commission

There are four issues related this this building height standard:

1. Item c relates to environmental and topographical conditions. They last few subdivisions have been graded by the developer. As written “environmental and topographical conditions of the lot prior to building development” mean it is based on the grades at the time the building permit is requested (not the original untouched condition)? The answer to this question will impact recent developments and redevelopment of older homes in the City. The subcommittee believes the intent is to evaluate the site based on the conditions at the time work is commenced. The Commission should discuss the language options. If the Commission does not believe this is accurate, the language should be modified for clarity.
2. Should the City define “naturally suited”? Prior staff suggested language that if there is adequate ground water separation and stormwater regulations can be met, the site is naturally suited to development. Chair Cremons has provided alterative language. Staff has been considering an alternative based on the amount of dirt moved or grade change but has been struggling to develop a formula that works well across the City. The Commission should discuss the proposed language and offer alternatives or suggestions.
3. Is the intent of the height standard to require an increased setback if any portion of the building exceeds 35 feet in height? The draft language options provide language to clarify this intent.
4. Lastly, does this need to be a conditional use permit or could the ordinance establish standards that are administered by staff to reduce the burden of the CUP process for residents? If the building height is addressed via increased setbacks a CUP seems unnecessary. However, the issue is currently tied to the naturally suited language which has recently been a topic of discussion. The Commission should discuss.

The purpose of the proposed ordinance amendment is to reduce the number of residents required to apply for a conditional use permit for a garage because the process is expensive and time consuming and is generally approved. The intent is to ensure that the ordinance has standards in place to ensure that the garages are scaled appropriately for the home on site. Does the draft language address those concerns if the questions above are addressed?





Attached for reference:

- Exhibit A: Summary of other city ordinances
- Exhibit B: Research memo from Deb Breen
- Exhibit C: 70 West Pleasant Plans
- Exhibit D: 38 Catbird Plans
- Exhibit E: 9 Sandpiper Plans

REQUESTED ACTION

The Planning Commission should review the draft ordinance and provide feedback for staff to make edits to the draft for a potential public hearing at the November meeting for one, both or neither of the discussion items (naturally suited and setbacks).



DATE October 13, 2023
 TO Kendra Lindahl, AICP
 CC
 FROM Nicholas Ouellette
 RE Building Height Stepback Rules

You requested I research ordinances that relate to the excess height of structures and whether additional setbacks are required for excess building height. The table below provides ordinance examples that relate to the height of buildings structures, setbacks and lot size. No building stepback standards were found for the Plymouth, Vadnais Heights, Gem Lake or Grant.

Example: Any time the side or rear elevations of a building exceed 35 feet in height within 50 feet of adjacent lot lines, the building shall be setback an additional 2 feet from the adjacent setback line for each foot in height above 35 feet.

CITY	STANDARD	NOTES
Edina	The maximum height to the highest point on a roof of a single or double dwelling unit shall be 30 feet. For lots that exceed 75 feet in width, the maximum height to the ridge line shall be 35 feet, and the maximum height may be increased by one inch for each foot that the lot exceeds 75 feet in width. In no event shall the maximum height exceed 40 feet.	Allows taller structures on wider lots.
Minnnetonka	Principal structures must conform with the following: Building height: maximum of 35 feet, except if the building includes a walkout or lookout elevation, in which case the maximum height is 25 feet.	Restricts the height of where walkouts/lookouts can be placed on a structure to below the maximum building height.
Shoreview	<u>Maximum Building Height</u> . 35 feet; this height may be exceeded if, for every additional foot of height, there is an additional foot of building setback on all sides.	Applies to buildings in the business, industrial and residential multi-family districts.
Arden Hills	Transition area setbacks require a minimum 20 ft. setback for elevations above 25 ft. or two stories.	Applies to the Neighborhood Residential Zone (downtown/dense housing district).
Wayzata	<ol style="list-style-type: none"> Building height shall conform to the height standards of the applicable zoning district. Every proposed multifamily and commercial facade exceeding 60 feet in façade length and fronting a public right of way shall provide an upper story stepback at the highest occupiable story. Required upper story stepbacks shall recess upper floors a minimum of ten percent of the frontage length, inclusive of the width of any provided small recesses. 	Applies to new structures within the City's Design Districts.

Wayzata	<p>A building which actual height from the foundation to the top peak of any portion of the roof exceeds the allowable building height in the applicable zoning district by more than five feet or roof pitches of more than a 45-degree angle for those structures at the building height limitation may be allowed as a conditional use permit, provided that:</p> <ol style="list-style-type: none"> 1. For each additional five feet in allowable, actual, roof height as calculated by the Building Code, which is above the maximum building height allowed by the respective zoning district; front and side yard setback requirements shall be increased by one foot. 2. The construction does not limit solar access to abutting and/or neighboring properties. 	
Bloomington	<p>Building height limits vary based on side yard setback requirements.</p> <ul style="list-style-type: none"> - A garage must be setback 5 ft. from the side yard lot line. <ul style="list-style-type: none"> o At the 5 ft. setback line a garage must not exceed 19 ft. in height. - A house must be setback 10 ft. from a side yard lot line. <ul style="list-style-type: none"> o At the 10 ft. setback line, a house cannot exceed 24 ft. in height. - Allowed building height increases as the building is further setback from the side yard lot line. <ul style="list-style-type: none"> o Building height may increase 1 ft. for each additional foot of setback. - Once the building is setback 20 ft. from the side yard lot line, the 40 ft. maximum building height applies when facing a street. 	<p>A graphic and handout are available here.</p>

From: [Deb Breen](#)
To: [Kendra Lindahl, AICP](#)
Cc: [Bridget Nason](#); [Kevin Kress](#); [Lauren Kavan](#)
Subject: FW: CUP - Building Height History
Date: Tuesday, September 12, 2023 10:27:34 PM
Attachments: [image001.png](#)

Kendra –

The following is the information previously compiled on excess building height CUP’s. The discussion at the time was the new Sherwood Trail development, and whether builders still needed to submit CUP for excess height for every single home (time & \$\$ spent) if land is naturally suited for it. They were trying to analyze the approval ratio for excess height CUP’s or if precedent that excess height had been granted to whole developments up front. See below.

If the consideration during this current PC ordinance discussion is to edit the specific height requirement, I’ll need to go back and pull the physical files to find the exact height figures. (The approval resolutions online only state “height in excess of 35’ feet granted per submitted plan” ...the specific number is not stated.)

Let me know if you all need the height #'s. Thx!
 Deb

From: Deb Breen
Sent: Friday, February 4, 2022 11:58 AM
To: Kevin Kress <KKress@northoaksmn.gov>
Cc: Lauren Kavan <LKavan@northoaksmn.gov>; Stephanie Marty <SMarty@northoaksmn.gov>
Subject: CUP - Building Height History

Kevin:

Per your request – the following chart shows the history of CUP’s for building height from 2000 - 2021. Of the 58 submitted, all were approved (including the 1 denied, but then approved).

What I’m seeing is a clear trend – as new streets were created, CUPs requests for height were prevalent (Catbird/ Black Lake/Red forest/Peterson, etc.). The in-between years there were very few requests, however height CUP’s have been approved consistently throughout the community. You’ll see there were very few requests for height CUP’s within the older North Oaks – however the few that were, have also been granted after review by PC and CC. Rapp Farm Development did not go through CUP process - as this must have been agreed upon as part of development approvals. Also note: what happened in 2014 with Red Forest area.

Hope this is helpful to have historical data that have carried through 21 years of changing PC and City Councils.
 Deb

Year	# Approved	# Denied	# Withdrawn	General Locations	Addresses
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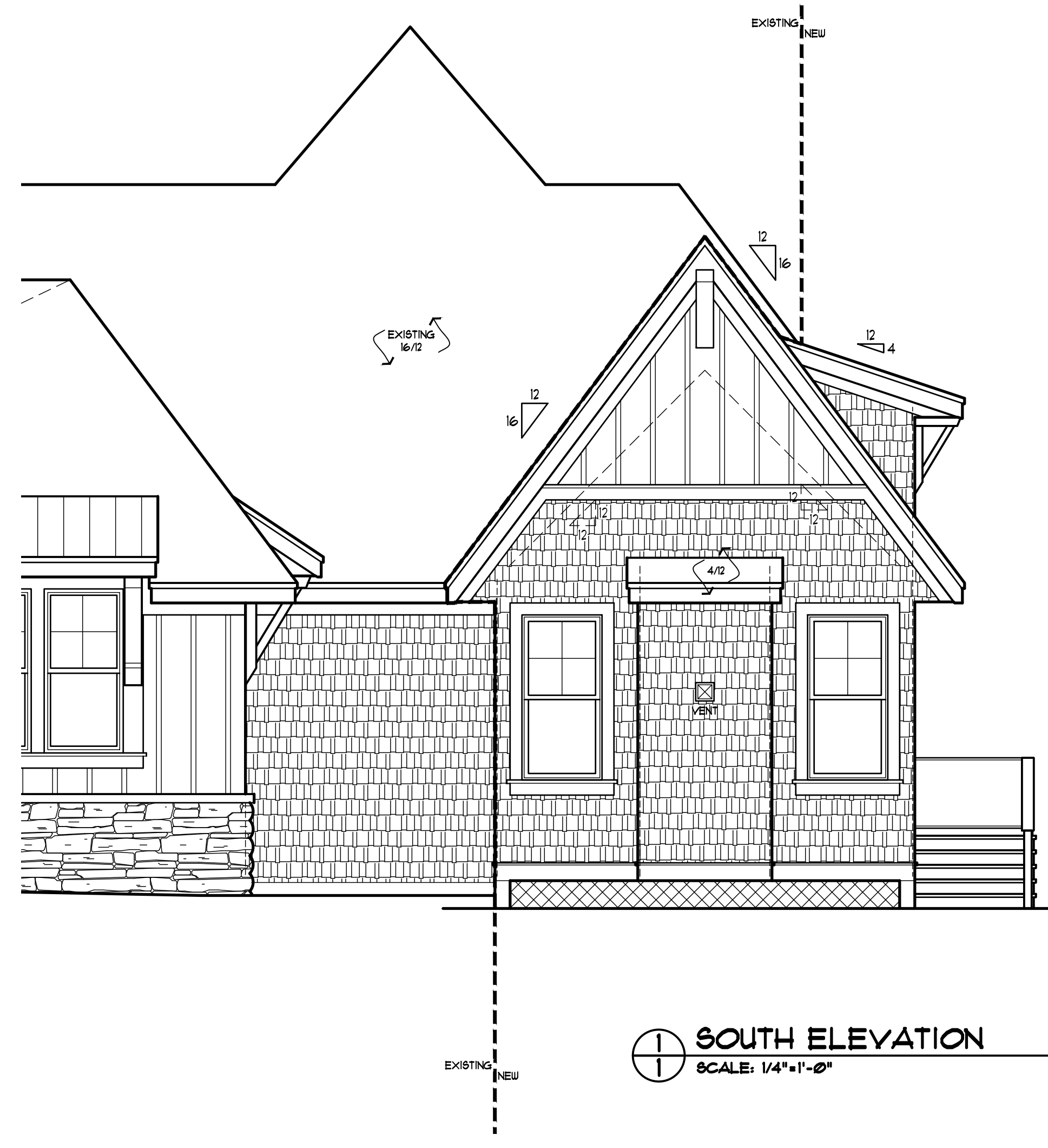
			/ Other		
2000	12	0		New streets on Catbird / Black Lake areas	
2001	8	0	1 (Charley Lake Rd) withdrawn	Peterson/N. Mallard Rd / Gadwall / Catbird	
2002	6	0		New areas Red Forest/Peterson /Catbird/Preserve Trail	
2003	4	0		Lost Rock/Red Forest Lane/Haycamp	
2004	6	0		New area: Red Forest Way	4 Red Forest Lane, 16A Buffalo Road, 16 N. Mallard Rd, 1 Red Forest Lane (height & Land reclamation), 1 Red Forest Lane, 6 Red Forest Way
2005	4	0		New area: Red Forest Way	1 Red Forest Way, 2 Blue Flag, 3 Red Forest Heights (height/Land reclamation), 2 Catbird Circle
2006	1	1		8 Mink Lane – originally denied / resubmitted & approved	
2007	-	-		N/A	
2008	1	0		Meadow Lane	2 Meadow Lane
2009	-	-		N/A	
2010	1	0		Catbird	4 Catbird
2011	2	0		Island Rd/West Pleasant Lake Rd.	15 Island Road, 64 W. Pleasant Lake Road
2012	1	0		Raccoon Rd.	3 Raccoon
2013	-	-		N/A	
2014	1 proposed *	0	1 Tabled	1 for NOHOA West Rec. Tabled, Red	

				Forest Heights: Height process was changed for everyone so no CUP now needed	
2015	-	-		N/A	
2016	-	-		N/A	
2017	3	0		Lake Court, Catbird Lane, Cherrywood Circle	6 Lake Court, 37 Catbird Lane, 21 Cherrywood Circle
2018	-	-		N/A	
2019	-	-		N/A	
2020	-	-		N/A	
2021	7	0		Rebuilds at 17 & 20 Evergreen Rd, Eastview Lane, 4 homes on Sherwood Trail, 14 Cherrywood Circle	6, 10, 14 Sherwood Trail 17 & 20 Evergreen Rd 14 Cherrywood Circle 3 Eastview
2022	2	0		New home Catbird & New Street on Sherwood Trail	38 Catbird, 16 Sherwood Trail (diff. plan than 2021)
2023	None				

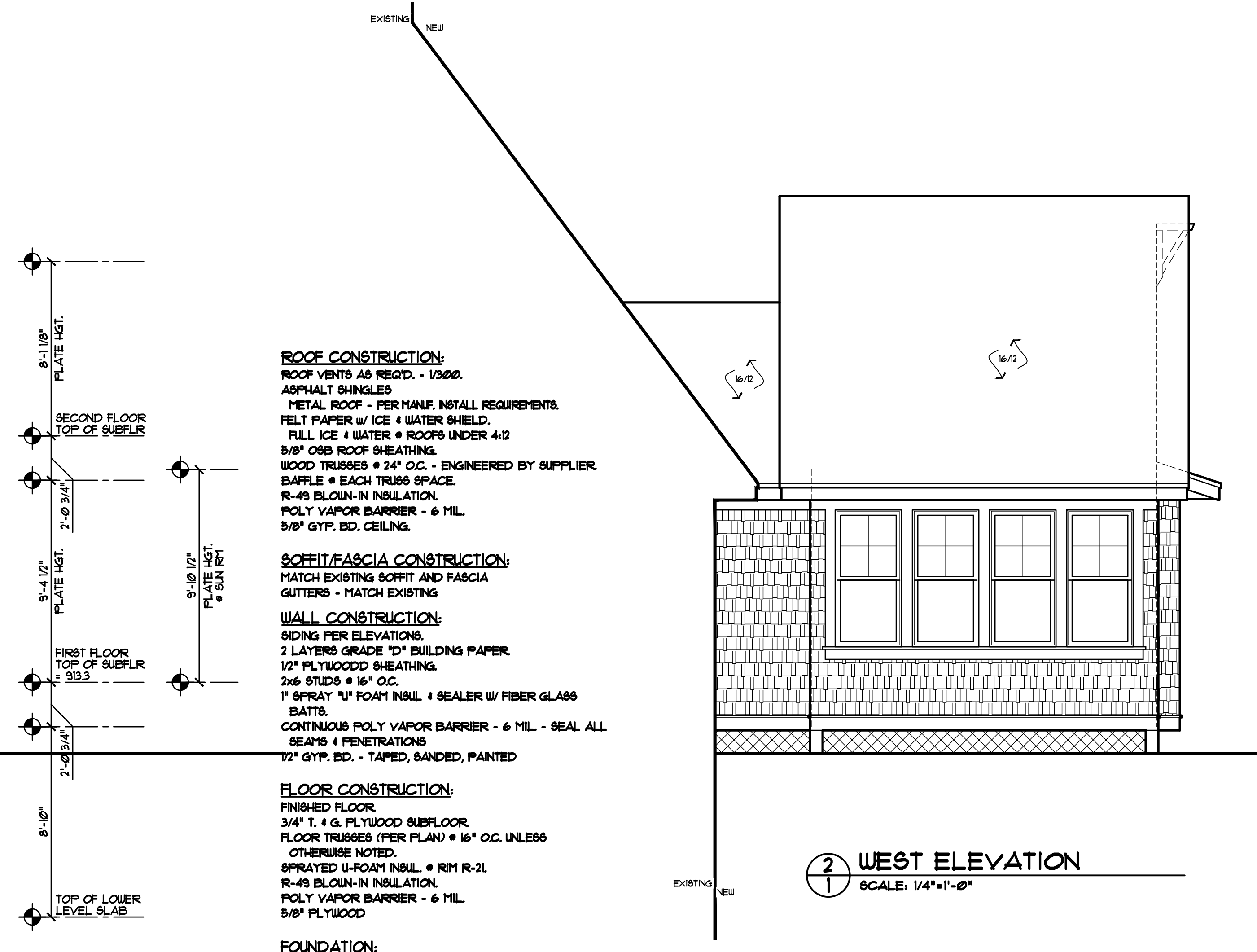


City of North Oaks
100 Village Center, Suite 230
North Oaks, MN 55127
651-792-7750

- ASPHALT SHINGLES PER ELEV'S
- METAL ROOFS PER ELEV'S
- HARDIE SHAKE SIDING PER ELEV'S
- HARDIE BOARD & BATTEN SIDING PER ELEV'S
- 6" UNDW & DR TRIM BDS. PER ELEV'S
- 6" FRIEZE BDS. PER ELEV'S
- MIRATEC BANDING PER ELEV'S
- 2" THIN CUT STONE PER ELEV'S



1 SOUTH ELEVATION
SCALE: 1/4"=1'-0"



2 WEST ELEVATION
SCALE: 1/4"=1'-0"

ROOF CONSTRUCTION:
ROOF VENTS AS REQ'D. - 1/300.
ASPHALT SHINGLES
METAL ROOF - PER MANUF. INSTALL REQUIREMENTS.
FELT PAPER w/ ICE & WATER SHIELD.
FULL ICE & WATER - ROOFS UNDER 4:12
5/8" OSB ROOF SHEATHING.
WOOD TRUSSES @ 24" O.C. - ENGINEERED BY SUPPLIER.
BAFFLE @ EACH TRUSS SPACE.
R-49 BLOW-IN INSULATION.
POLY VAPOR BARRIER - 6 MIL.
5/8" GYP. BD. CEILING.

SOFFIT/FASCIA CONSTRUCTION:
MATCH EXISTING SOFFIT AND FASCIA
GUTTERS - MATCH EXISTING

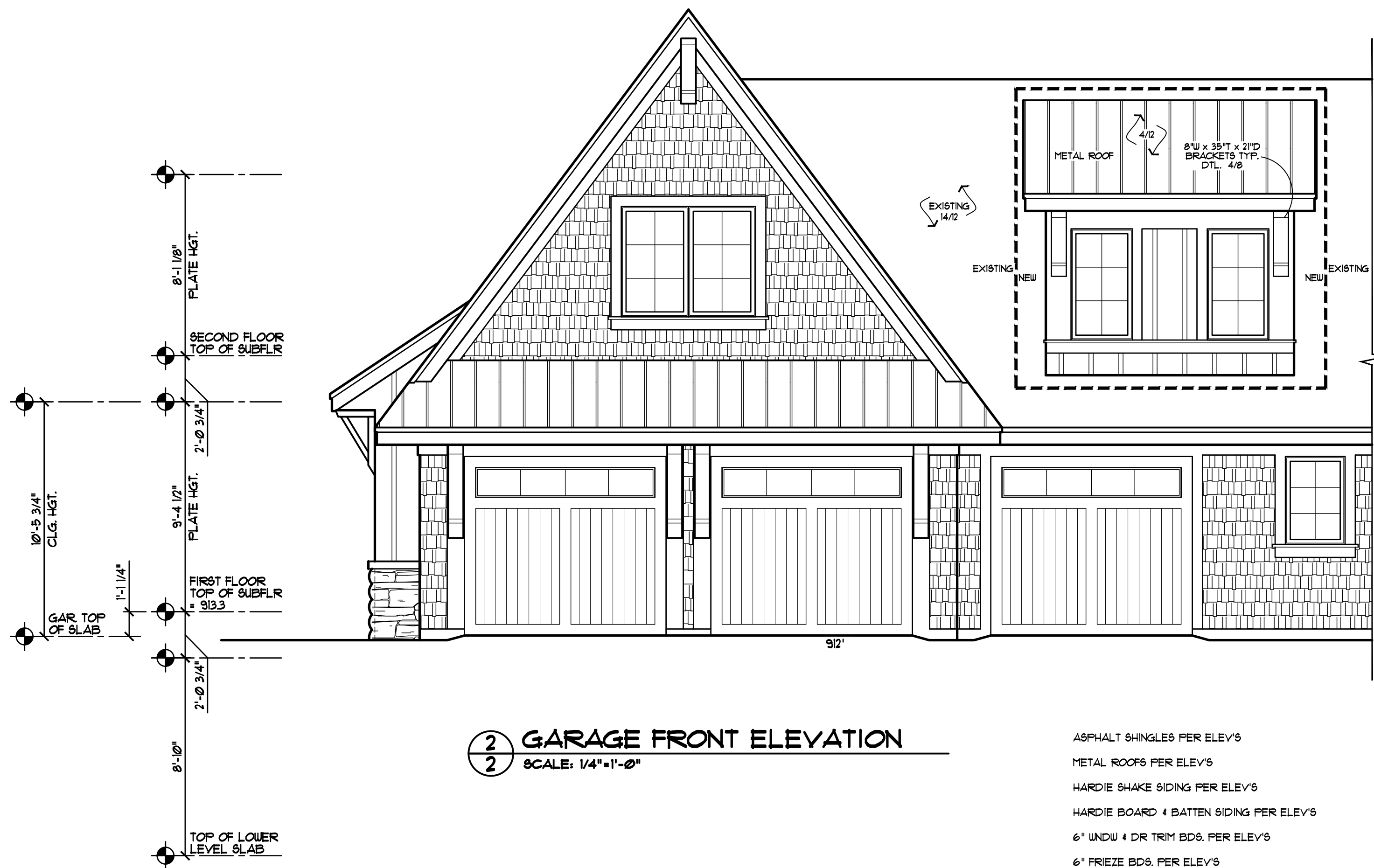
WALL CONSTRUCTION:
SIDING PER ELEVATIONS.
2 LAYERS GRADE 'D' BUILDING PAPER
1/2" PLYWOOD SHEATHING.
2x6 STUDS @ 16" O.C.
1" SPRAY U-FOAM INSUL & SEALER w/ FIBER GLASS
BATT.
CONTINUOUS POLY VAPOR BARRIER - 6 MIL. - SEAL ALL
SEAMS & PENETRATIONS
1/2" GYP. BD. - TAPE, SANDED, PAINTED

FLOOR CONSTRUCTION:
FINISHED FLOOR
3/4" T. & G. PLYWOOD SUBFLOOR.
FLOOR TRUSSES (PER PLAN) @ 16" O.C. UNLESS
OTHERWISE NOTED.
SPRAYED U-FOAM INSUL. @ R11 R-21
R-49 BLOW-IN INSULATION.
POLY VAPOR BARRIER - 6 MIL.
5/8" PLYWOOD

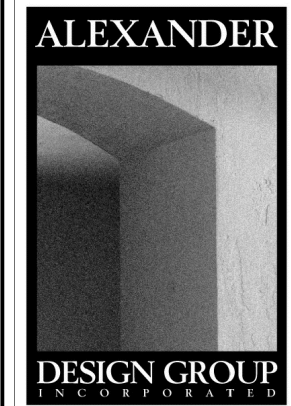
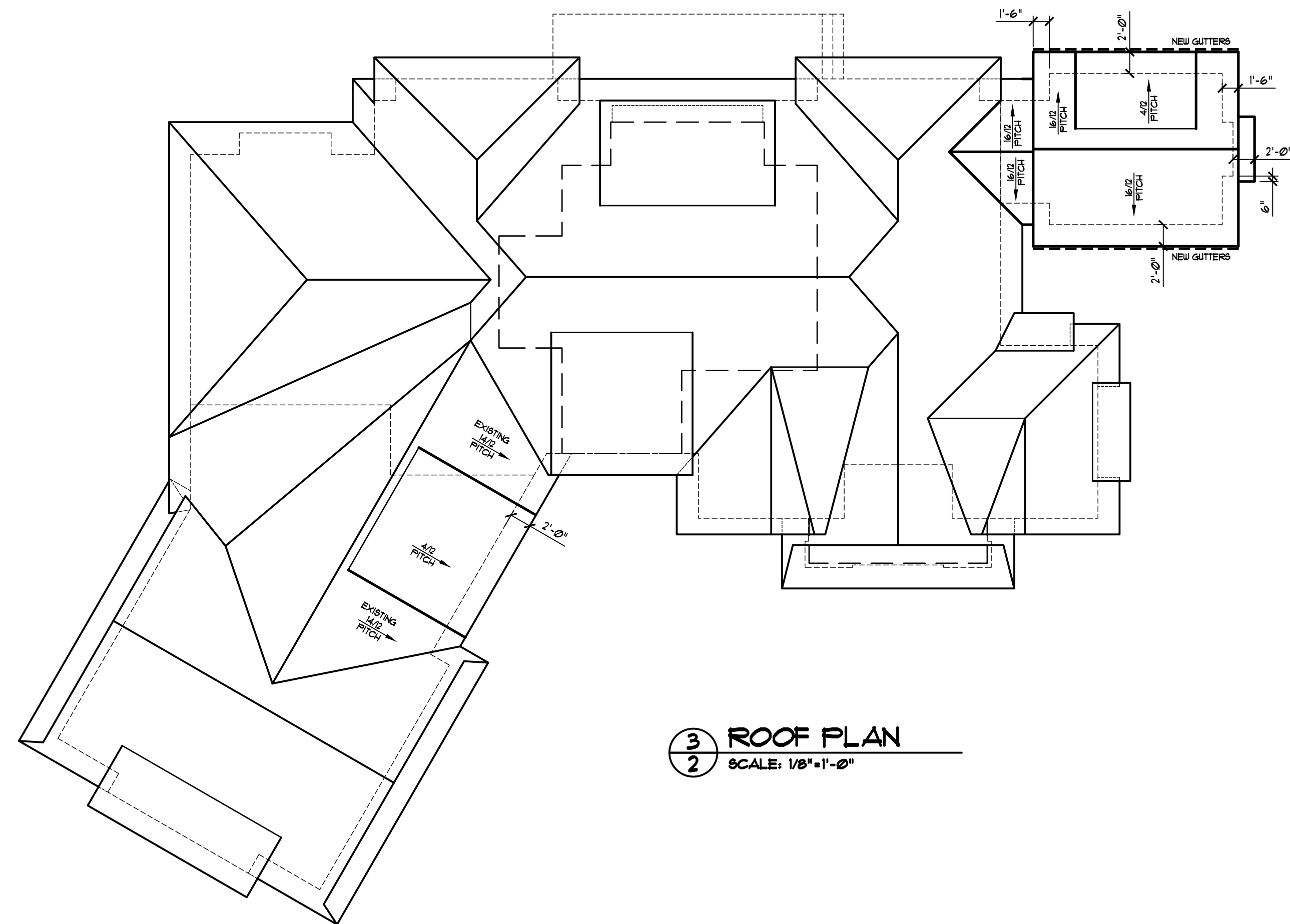
FOUNDATION:
CONC. PIERS OR HELICAL PILES - PER ENGINEERING



3 REAR ELEVATION
SCALE: 1/4"=1'-0"



- ASPHALT SHINGLES PER ELEV'S
- METAL ROOFS PER ELEV'S
- HARDIE SHAKE SIDING PER ELEV'S
- HARDIE BOARD 4 BATTEN SIDING PER ELEV'S
- 6" WDW 4 DR TRIM BDS. PER ELEV'S
- 6" FRIEZE BDS. PER ELEV'S
- MIRATEC BANDING PER ELEV'S
- 2" THIN CUT STONE PER ELEV'S



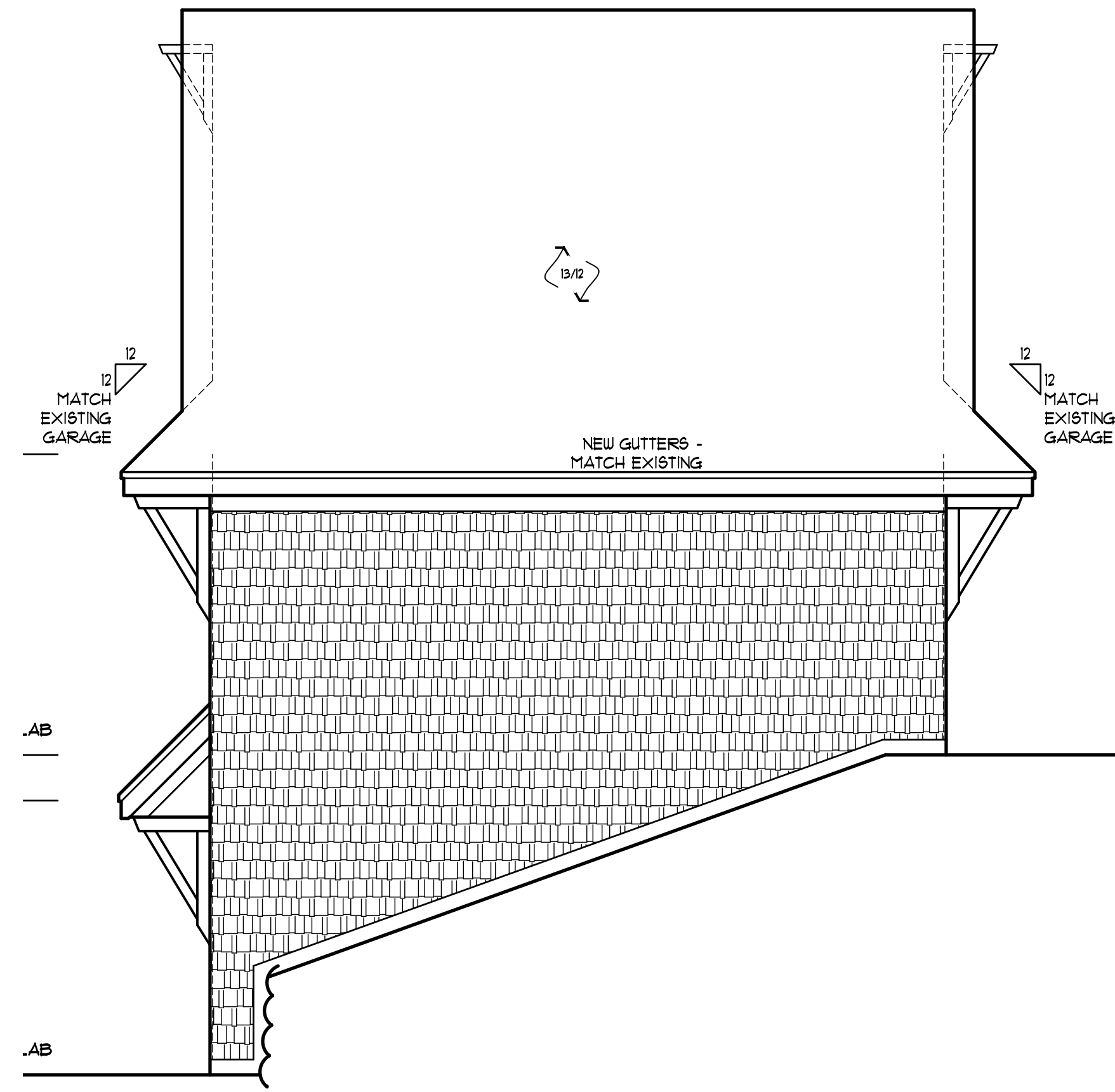
275 EAST LAKE STREET
SUITE 102
WAYZATA, MN 55391
Phone: 952.473.8777
FAX: 952.473.8222

ISSUE DATE:
5 OCTOBER 2022
PREVIOUS ISSUE DATE(S):

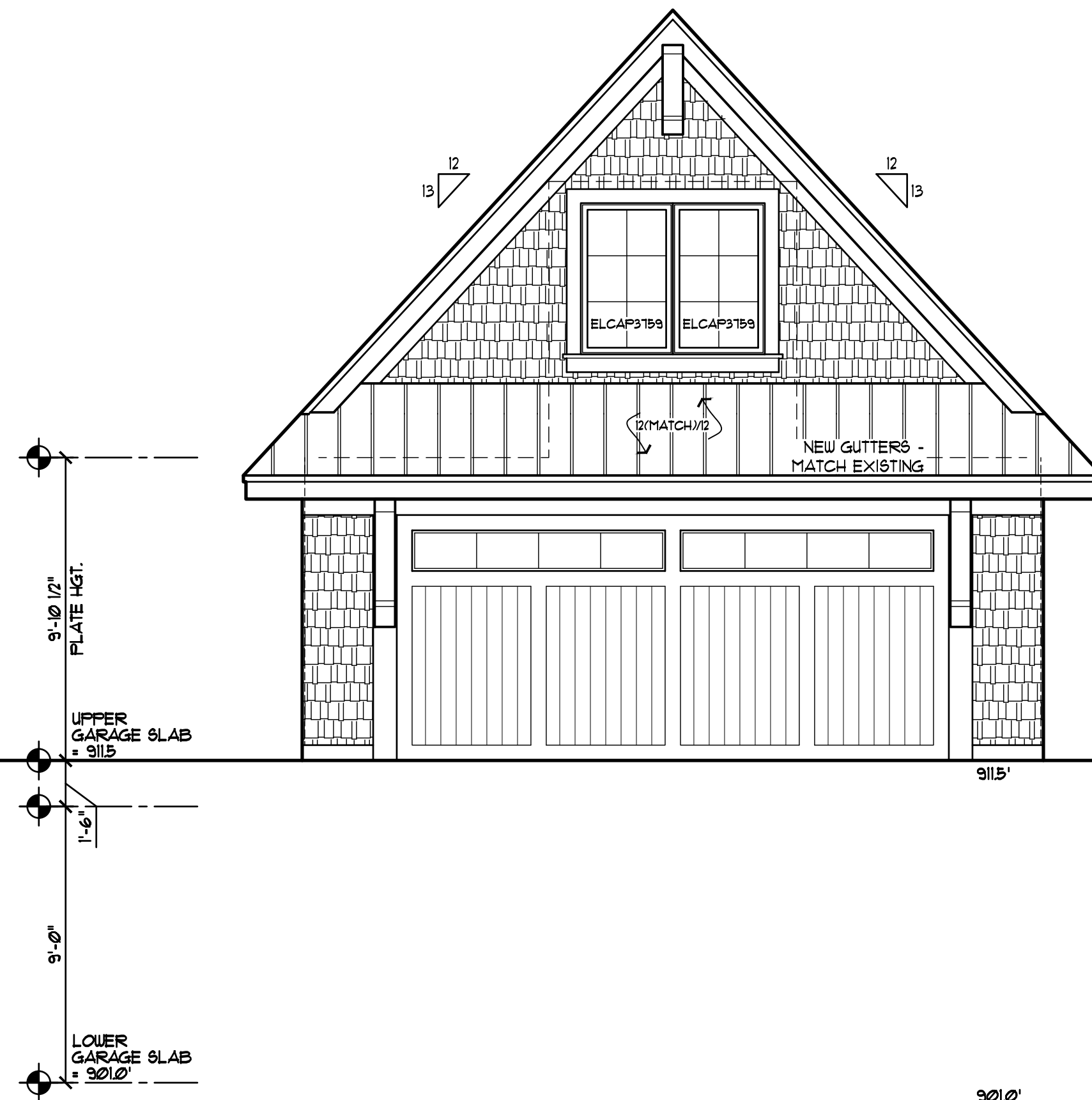
DRAWING DESCRIPTION:
ELEVATIONS
& ROOF PLAN
ADG

BID SET

UDAGER RESIDENCE
WEST PLEASANT LAKE RD
NORTH OAKS, MN

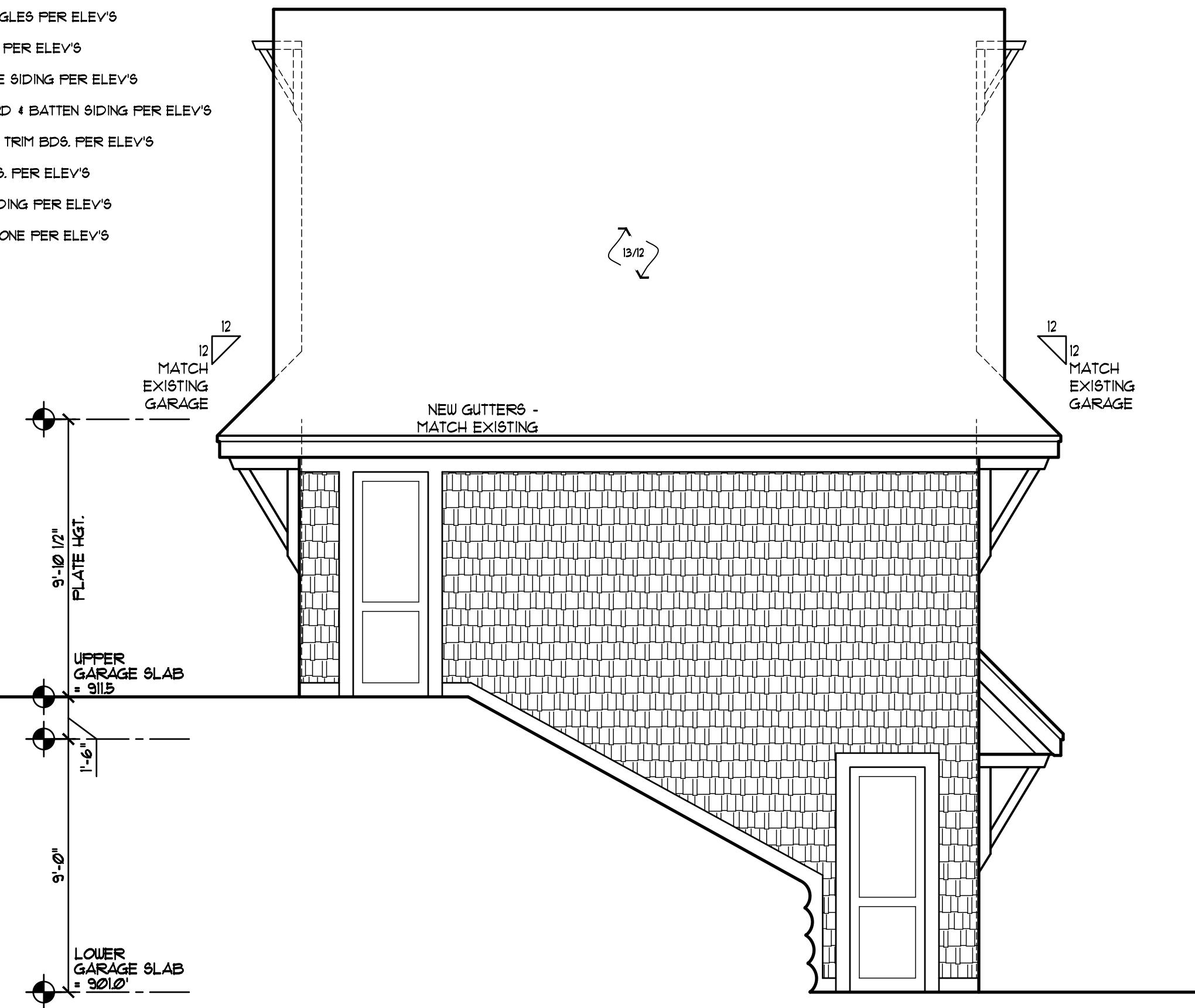


1 SOUTH ELEVATION
4 SCALE: 1/4"=1'-0"

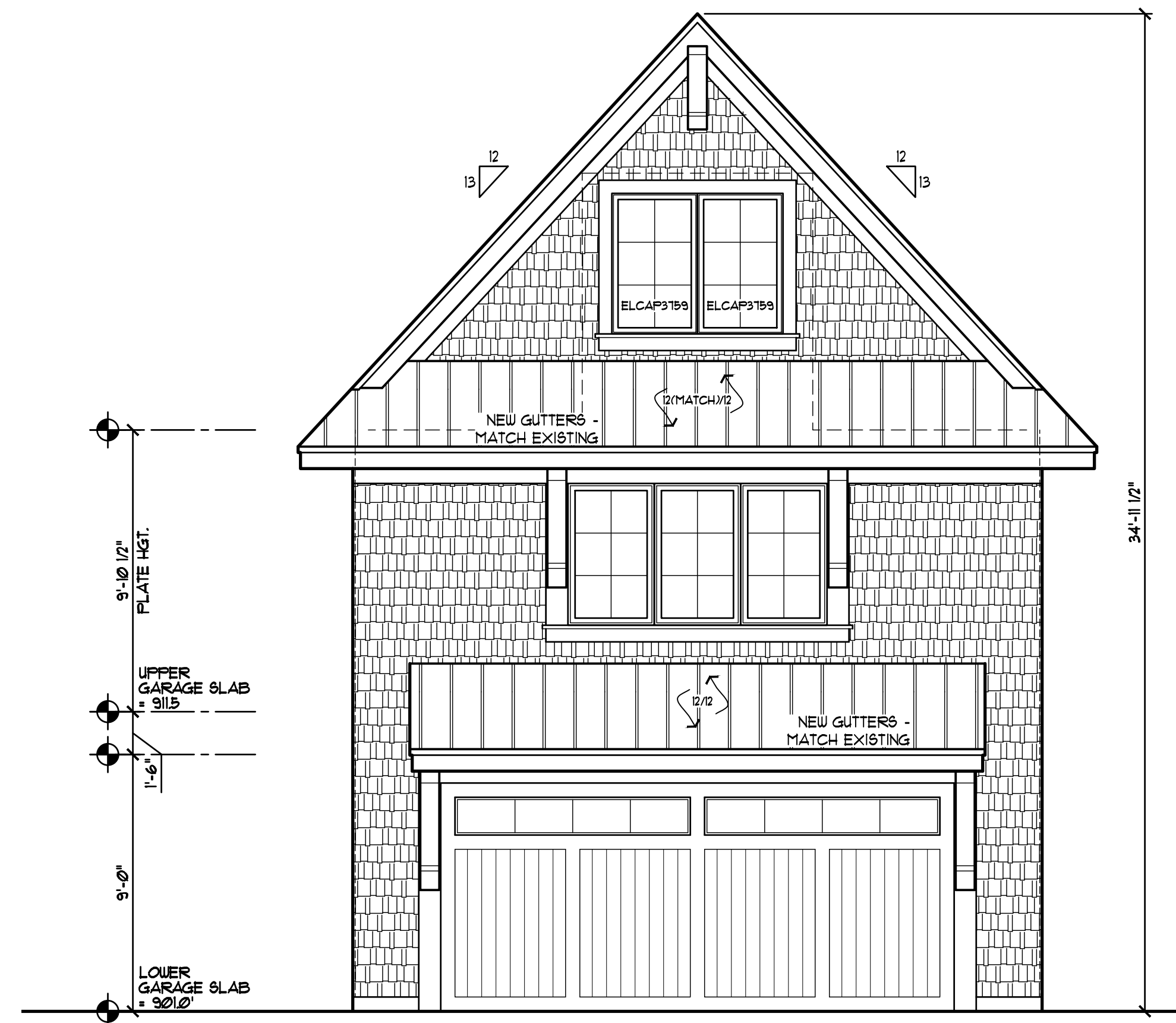


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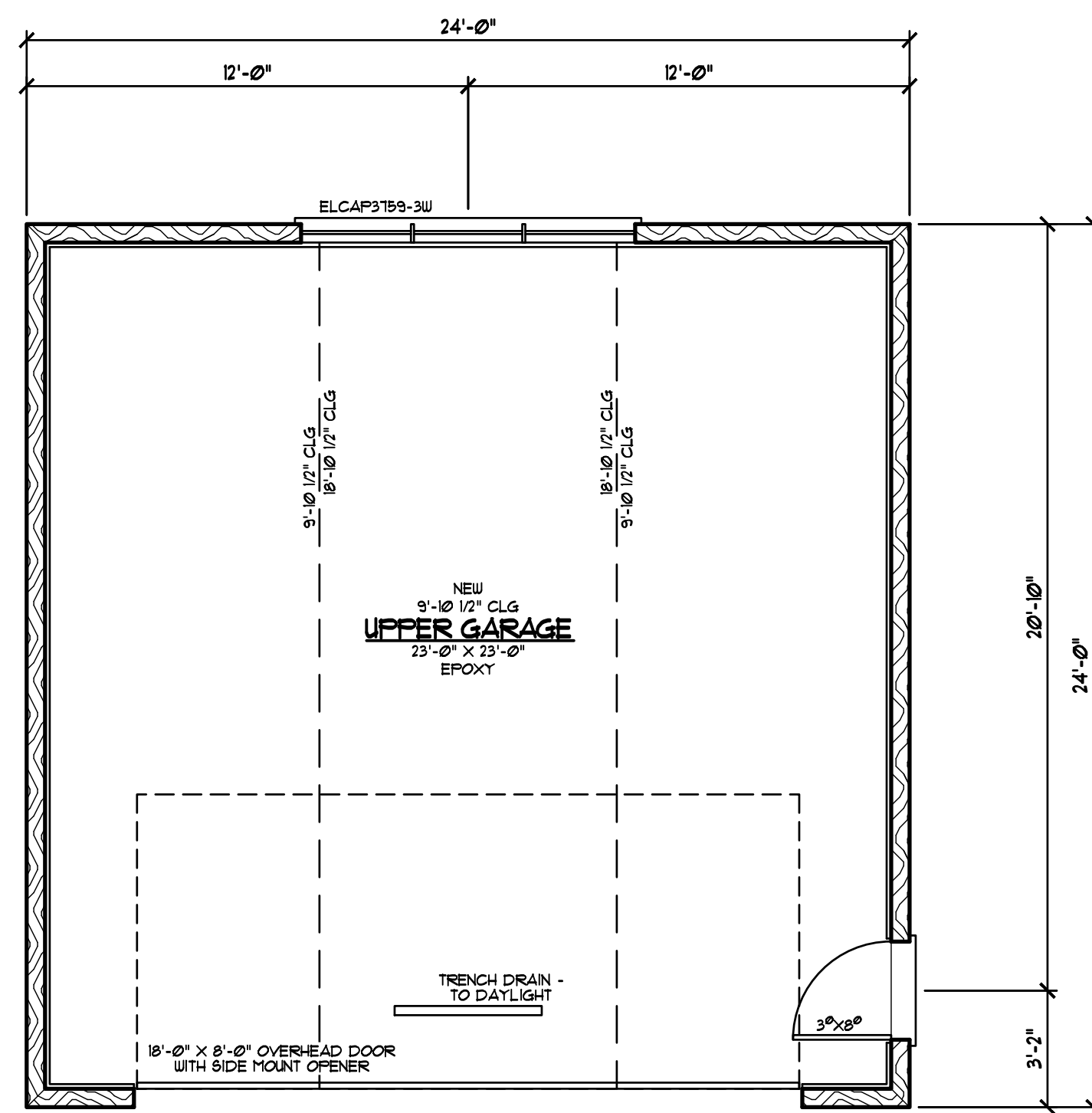
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- METAL ROOF'S PER ELEV'S
- HARDIE SHAKE SIDING PER ELEV'S
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- MIRATEC BANDING PER ELEV'S
- 2" THIN CUT STONE PER ELEV'S



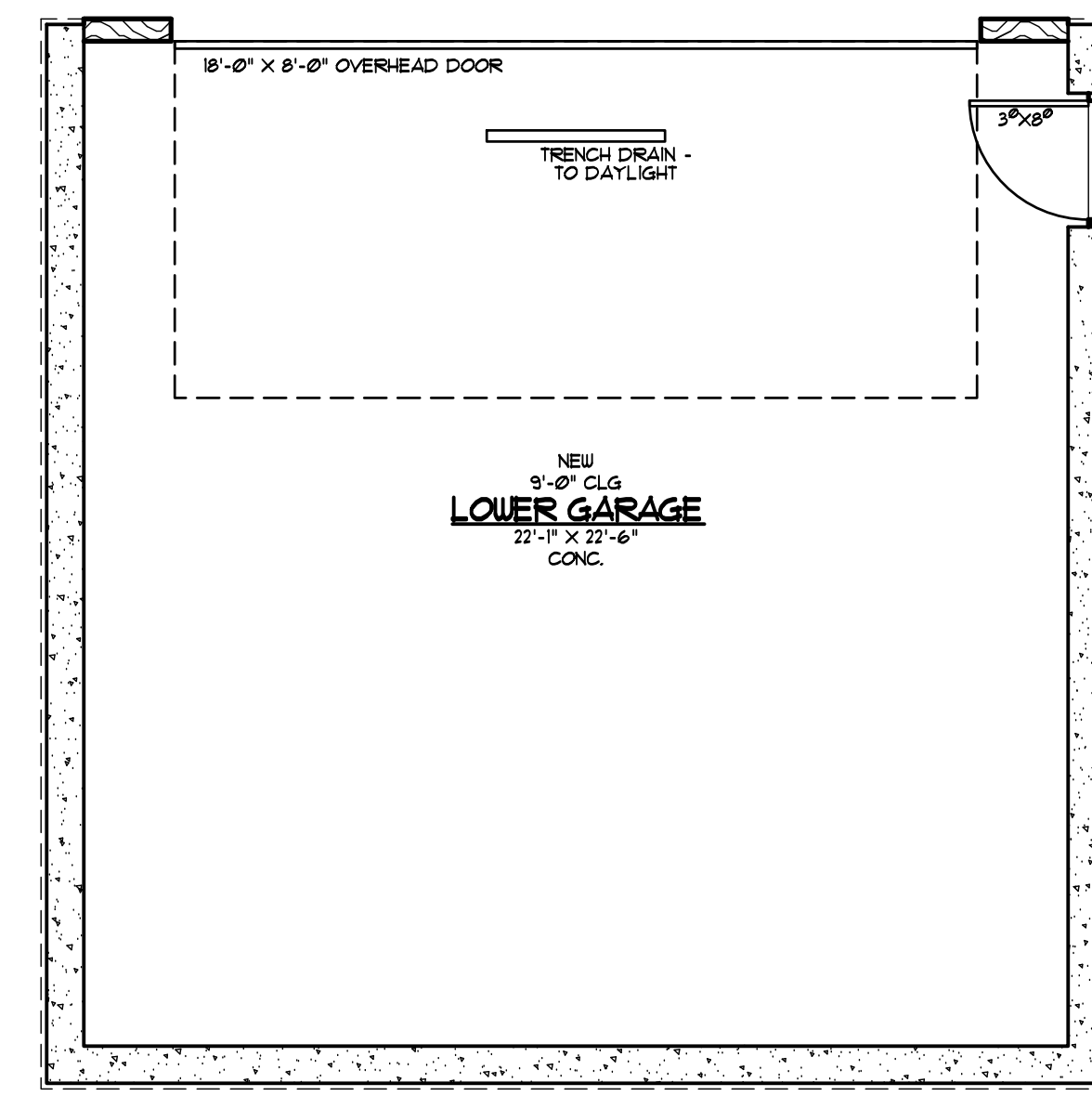
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4 SCALE: 1/4"=1'-0"



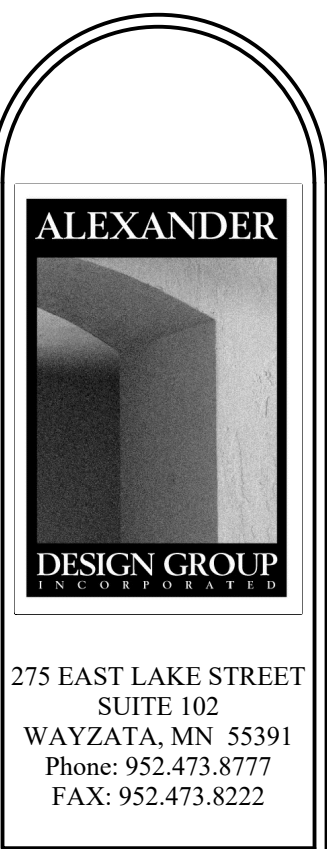
4 WEST ELEVATION
4 SCALE: 1/4"=1'-0"



5 UPPER GARAGE
4 SCALE: 1/4"=1'-0"



6 LOWER GARAGE
4 SCALE: 1/4"=1'-0"



275 EAST LAKE STREET
SUITE 107
WAYZATA, MN 55391
Phone: 952.473.8777
FAX: 952.473.8222

ISSUE DATE:
5 OCTOBER 2022
PREVIOUS ISSUE DATE(S):

DRAWING DESCRIPTION:
ACCESSORY GARAGE
ADG

BID SET

UDAGER RESIDENCE
WEST PLEASANT LAKE RD
NORTH OAKS, MN



LICENSE:

Please read carefully. This license contains terms by which you are bound if you use this plan.

Hendel Homes is granted the right to construct one and only one home based on the plan. This right is not transferable. You may not sell or otherwise transfer the plan to another, or allow another to use or copy the plan.

This plan is protected under federal copyright laws. Use of the plan in a manner inconsistent with this license is a violation of U.S. copyright

Before construction begins, thoroughly review this plan, verify all dimensions, and report to the Architect any errors, omissions or questions for clarification.

These plans indicate building systems, materials and standards that are specific to Hendel Homes. Ron Brenner Architects, LLC, may not be held responsible for such standards, construction means or methods, costs, workmanship, quality of materials or equipment utilized in the construction.

Sheet List	
Sheet Number	Sheet Name
A1.0	COVER SHEET AND ROOF PLAN
A2.1	LOWER LEVEL FLOOR PLAN
A2.2	MAIN LEVEL FLOOR PLAN
A2.3	SECOND LEVEL FLOOR PLAN
A3.1	EXTERIOR ELEVATIONS
A3.2	EXTERIOR ELEVATIONS
A4.1	BUILDING SECTIONS
A4.2	BUILDING SECTIONS
A4.3	BUILDING SECTIONS
A4.4	BUILDING SECTIONS
A5.1	FOUNDATION DETAILS
A5.2	MISCELLANEOUS EXTERIOR DETAILS
S2.1	LOWER LEVEL STRUCTURE
S2.2	MAIN LEVEL STRUCTURE
S2.3	MAIN LEVEL STRUCTURE
S2.4	SECOND LEVEL STRUCTURE
S2.5	C.ONCRETE DETAILS
S2.6	FRAMING DETAILS
S2.7	2ND FLOOR FRAMING ADDENDUM

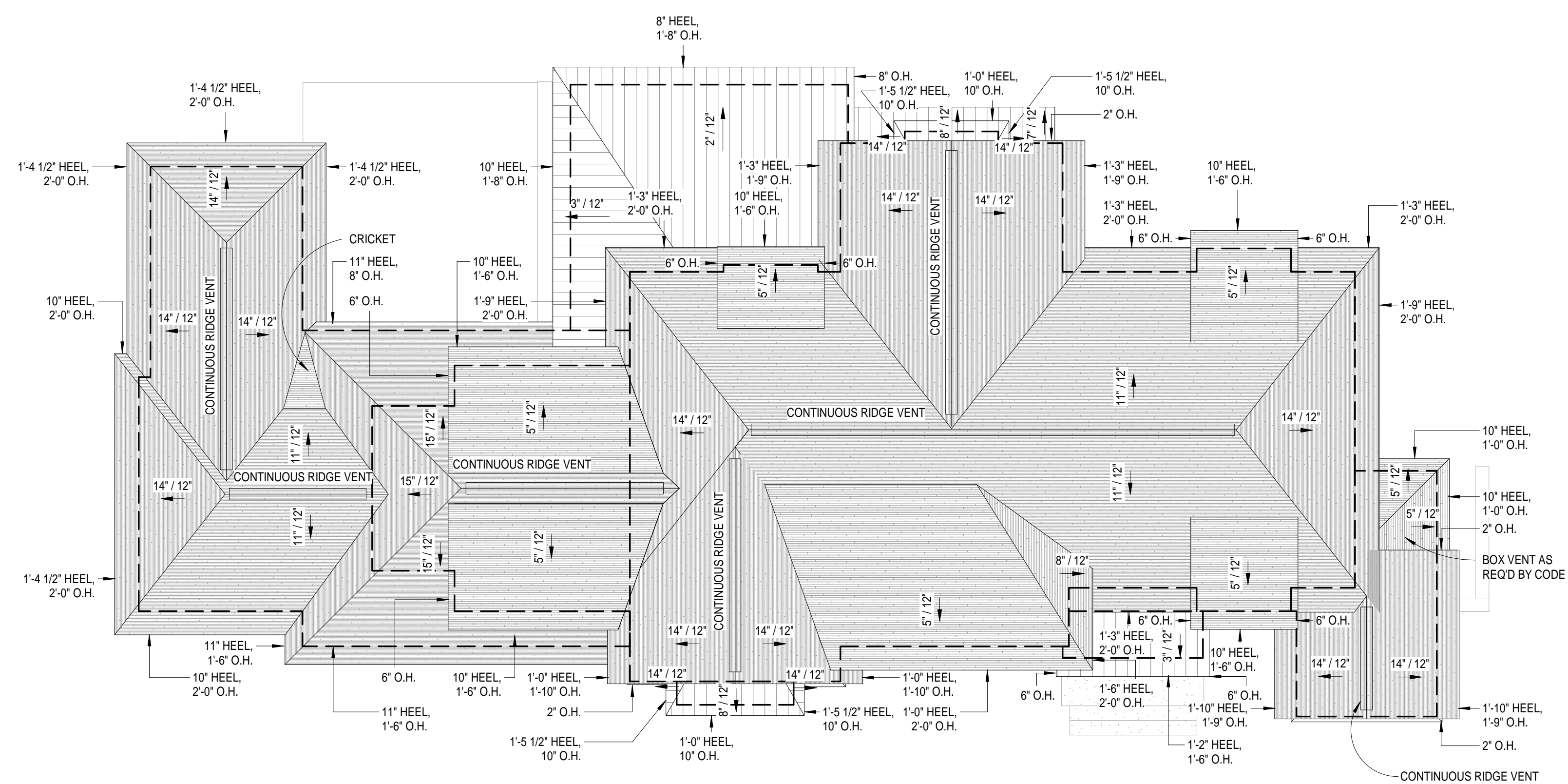
Building Overall Areas			
Name	Area	Level	Type
CONDITIONED			
Lower Level			
LOWER LEVEL	1799 SF	Lower Level	CONDITIONED
	1799 SF		
Main Floor			
MAIN LEVEL	2406 SF	Main Floor	CONDITIONED
	2406 SF		
Second Floor			
BONUS	413 SF	Second Floor	CONDITIONED
SECOND LEVEL	2170 SF	Second Floor	CONDITIONED
	2583 SF		
CONDITIONED	6788 SF		
UNCONDITIONED			
Lower Level			
MECHANICAL	598 SF	Lower Level	UNCONDITIONED
	598 SF		
Main Floor			
FRONT PORCH	46 SF	Main Floor	UNCONDITIONED
GARAGE	1270 SF	Main Floor	UNCONDITIONED
SCREEN PORCH	386 SF	Main Floor	UNCONDITIONED
	1702 SF		
UNCONDITIONED	2301 SF		
Grand total	9088 SF		



LEWIS RESIDENCE
by
Hendel Homes

ROOF PLAN NOTES:

- TYPICAL ROOFING SYSTEM SHALL BE AS FOLLOWS: ASPHALT ROOF SHINGLES, ROOFING FELT / SELF ADHERED ROOFING UNDERLAYMENT OVER ROOF SHEATHING.
- METAL ROOFING SHALL BE AS FOLLOWS:
- ROOFING FELT SHALL BE UL RATED 30 LB ASPHALT SATURATED ORGANIC FELT.
- TYPICAL SELF ADHERED ROOFING UNDERLAYMENT SHALL BE W.R. GRACE "ICE AND WATER SHIELD". INSTALL AT FOLLOWING LOCATIONS: 1) ALONG EAVES EXTENDING A MINIMUM OF 36" HORIZONTALLY UP ROOF BEYOND THE INSULATED WALL LINE, 2) 36" SHEET WIDTH ALONG GABLE (RAKE) ENDS, 3) 36" SHEET WIDTH AT VALLEYS, 4) 36" SHEET WIDTH AT ROOF/WALL INTERSECTIONS, 5) ALL AROUND CHIMNEYS, SKYLIGHTS AND OTHER ROOF PENETRATIONS, 6) COMPLETELY AT ALL ROOFS LESS THAN 4:12 PITCH, 7) 36" SHEET AT ROOF PITCH TRANSITIONS, 8) OTHER AREAS AS REQUIRED BY CODE.
- INSTALL CONTINUOUS W.R. GRACE "ULTRA" SELF ADHERED ROOFING UNDERLAYMENT UNDER FLAT SOLDERED SEAMED COPPER WHERE METAL PANS ARE INDICATED. IF FIELD SEAMING IS PERFORMED PLACE 2 LAYERS ROOFING FELT UNDER SEAM LOCATIONS TO PROTECT UNDERLAYMENT.
- INSTALL PREFINISHED METAL DRIP FLASHING ALONG ALL EAVES AND RAKE ENDS TO HAVE MINIMUM 6" FLANGE ONTO ROOF SURFACE.
- INSTALL PREFINISHED METAL VALLEY FLASHING WITH 1" V-CRIMP, 12" MINIMUM UP EACH SIDE OF VALLEYS OR WEAVE SHINGLES AT VALLEYS
- INSTALL PREFINISHED METAL FLASHING AT ROOF PITCH TRANSITIONS.
- INSTALL PREFINISHED METAL STEP FLASHING ALONG ROOF / WALL INTERSECTIONS AND ALONG ROOF / CHIMNEY INTERSECTIONS.
- CONFORM WITH "SMACNA" ARCHITECTURAL SHEET METAL MANUAL, 5TH ADDITION, 1993 WITH ADDENDUM NO. 1 OCTOBER 31, 1997 FOR ALL METAL ROOFING, FLASHING AND ROOF PENETRATION SYSTEMS
- RIDGE VENTS TO BE HIGH PROFILE, PLASTIC TYPE, SHINGLE OVER VENT SYSTEM (COR-A-VENT V-600 SERIES OR EQUAL). INSTALL CONTINUOUSLY ALONG RIDGES.
- INSTALL ROOF TO WALL VENTS (COR-A-VENT ROOF-2-WALL VENT OR EQUAL) WHERE INDICATED ON DRAWINGS.



1 Roof Plan
A1.0 1/8" = 1'-0"

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C

TYPICAL PLAN NOTES:

GENERAL FRAMING INFORMATION
 ALL WOOD FRAMING TO COMPLY WITH APPLICABLE STATE AND LOCAL BUILDING CODES AND THE NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION PUBLISHED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION (NFPA).

THESE PLANS INDICATED CONCEPTUAL TRUSS CONFIGURATIONS AND LOADING CONDITIONS. ALL FLOOR AND ROOF TRUSSES INDICATED ON THESE PLANS ARE TO BE DESIGNED AND ENGINEERED BY THE MANUFACTURER LICENSED TO PRACTICE WITHIN THE STATE OF THIS PROJECT. PRIOR TO CONSTRUCTION VERIFY ALL POINT LOAD AND BEARING CONDITIONS AND COORDINATE POSTS AND BEARING REQUIREMENTS WITH THE BUILDER. NOTIFY ARCHITECT / ENGINEER OF ANY DISCREPANCIES FROM THESE PLANS. FOLLOW MANUFACTURERS RECOMMENDATIONS AND REQUIREMENTS FOR AND FURNISH ALL BLOCKING, STIFFENERS, BRACING, FASTENERS, HARDWARE, ETC. NECESSARY FOR INSTALLATION.

PROVIDE DOUBLE TOP PLATE AT FLOOR TRUSSES. ELIMINATE UPPER PLATE AT MUDSET TILE FLOORING AREAS TO ALLOW FOR MUDDING AND ALIGNMENT WITH ADJACENT FINISH FLOORS.

UNLESS NOTED OTHERWISE, EXTERIOR WALLS (INCLUDING GARAGE WALLS) TYPICALLY TO BE 2X6 CONSTRUCTION. INTERIOR WALLS TYPICALLY TO BE 2X4. INTERIOR WALLS WITH POCKET DOORS TO BE 2X6 CONSTRUCTION. POCKET DOORS TO BE CUSTOM FABRICATED WITH TIMBERSTRAND ENGINEERED FRAMING. CABINET WALLS AND BALLOON FRAMED WALLS SHALL BE FRAMED WITH TIMBERSTRAND.

PLAN DIMENSIONS ARE TYPICALLY TAKEN TO OUTSIDE OF WALL SHEATHING AT EXTERIOR WALLS AND TO CENTER LINES OR FACE OF STUD AT INTERIOR WALLS.

COLUMN SIZES SHALL NOT EXCEED CRUSHING STRENGTH OF THE PLATES THEY BEAR ON. SIZE AS REQUIRED, UTILIZE SQUASH BLOCKING OR BEAR DIRECTLY ON FOUNDATION.

USE PRESERVATIVE TREATED COLUMNS, BEAMS, PLATES, MISC. FRAMING MEMBERS AS REQUIRED BY CODE AND AS CALLED OUT IN PLANS.

WHERE WOOD FRAMING SIZES ARE INDICATED, MANUFACTURER TO VERIFY GRADE AND SPACING REQUIRED TO MAINTAIN MINIMUM L/480 DEFLECTION.

ALL FLOOR BEAMS TO BE SET FLUSH WITH FLOOR FRAMING UNLESS INDICATED OTHERWISE.

ALL ROOF BEAMS TO BE DROPPED UNLESS NOTED OTHERWISE.

DROPPED FLOOR BEAMS OR ROOF BEAMS SHALL BE 12" MAXIMUM DEPTH UNLESS INDICATED OTHERWISE.

SILL PLATES SHALL BE 2X6 MINIMUM. ANCHOR BOLTS SHALL BE 1/2" MIN. DIAMETER (U.N.C.) CAST IN PLACE WITH 7" EMBED. ANCHOR BOLTS SHALL HAVE 2" DIAMETER X 0.125" THICK WASHERS TIGHTENED AND COUNTERSUNK 1/4" INTO THE TOP OF THE SILL PLATE. SPACING SHALL BE 48" O.C. WITH A MINIMUM OF TWO BOLTS PER PIECE WITH BOLT LOCATED NO MORE THAN 12" OR LESS THAN 4" FROM EACH END OF EACH PIECE.

AT TILED FLOOR AREAS USE MUDSET METHOD AND DROP TOP OF TRUSSES TO ACCOMMODATE REQUIRED THICKNESS.

WINDOW DESIGNATIONS ON PLANS INDICATE MARVIN CLAD ULTIMATE SERIES MODEL NUMBERS. VERIFY ROUGH OPENING SIZES WITH WINDOW MANUFACTURER.

SHEATHING:
 ALL EXTERIOR WALLS TO HAVE CONTINUOUS PLYWOOD WALL SHEATHING. EACH PANEL OF SHEATHING SHALL BE IDENTIFIED WITH THE APPROPRIATE GRADE - TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION.

PROVIDE 1/8" SPACE AT EDGES AND ENDS OF EACH SHEET OR AS REQUIRED BY THE MANUFACTURER.

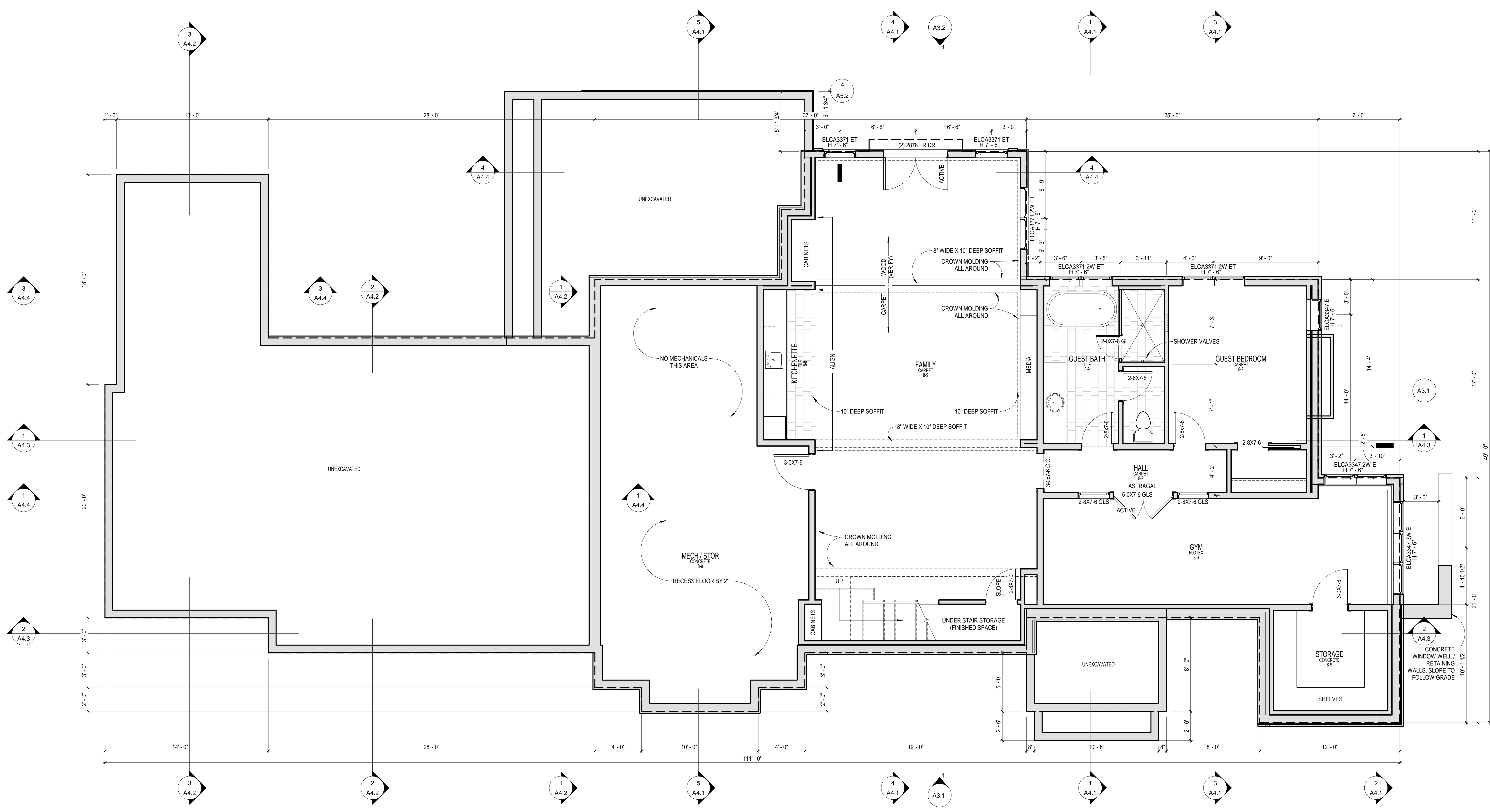
GRADE AND TYPE SHALL BE AS FOLLOWS:
 ROOF SHEATHING: 4020 APA RATED SHEATHING EXPOSURE 1
 EXTERIOR WALL: 2416 APA RATED SHEATHING EXPOSURE 1
 FLOORS: 4824 APA RATED SHEATHING EXPOSURE 1 (T&G)

WALL SHEATHING TO BE ATTACHED WITH 0.113" DIAMETER NAILS AT 8" O.C., EDGE, 12" O.C. FIELD.

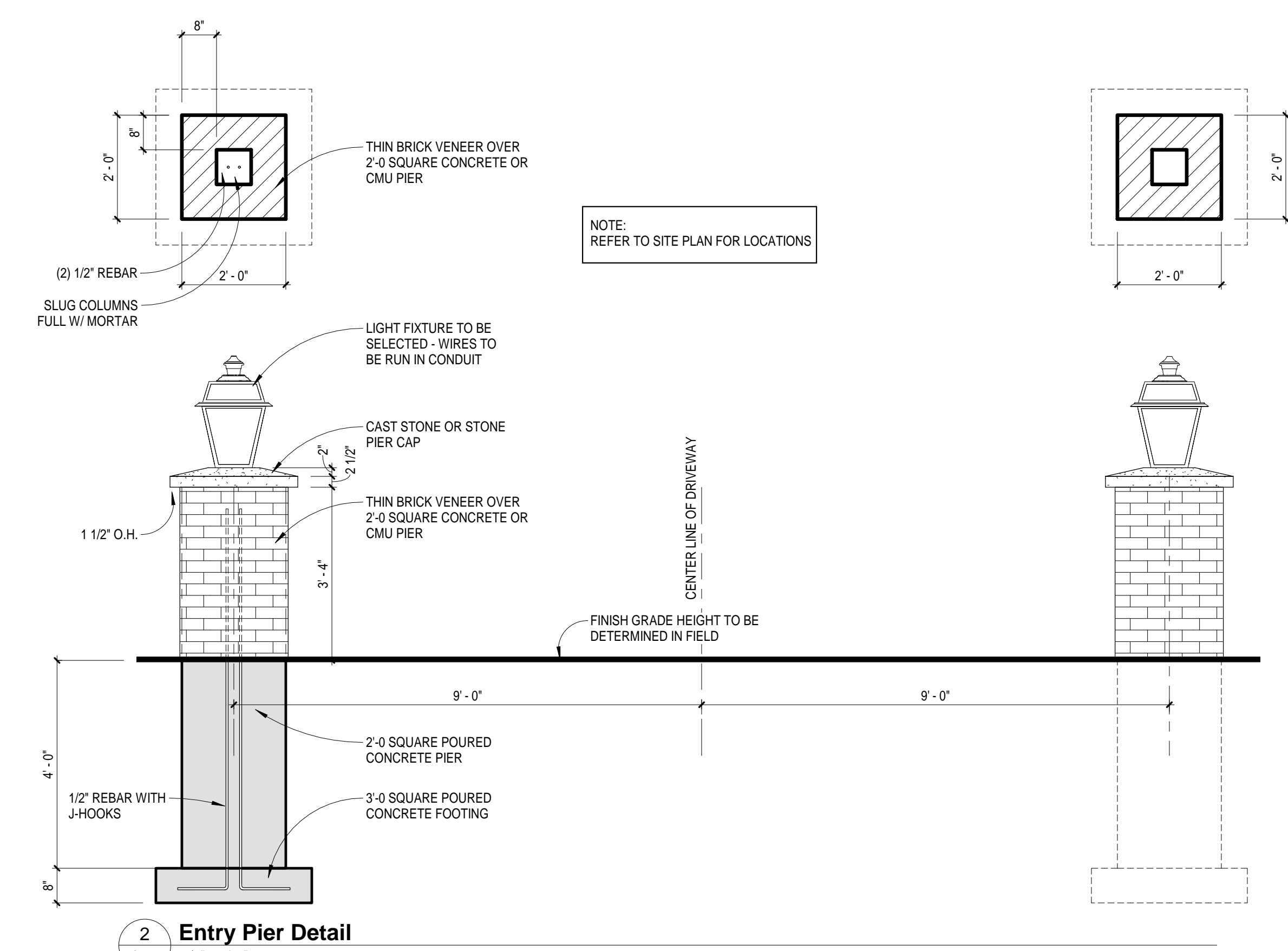
ROOF SHEATHING TO BE ATTACHED WITH 0.113" DIAMETER NAILS AT 8" O.C., EDGE, 12" O.C. FIELD. PROVIDED 8" O.C. NAILING TO ALL MEMBERS IN LINE WITH SHEAR WALLS. EDGE FASTENERS SHOULD BE PLACED 3/8" FROM PANEL EDGES AND ENDS OR AS REQUIRED BY THE MANUFACTURER.

FLOOR SHEATHING TO BE GLUED AND ATTACHED WITH 0.113" DIAMETER NAILS @ 6" O.C. EDGE, 12" O.C. FIELD.

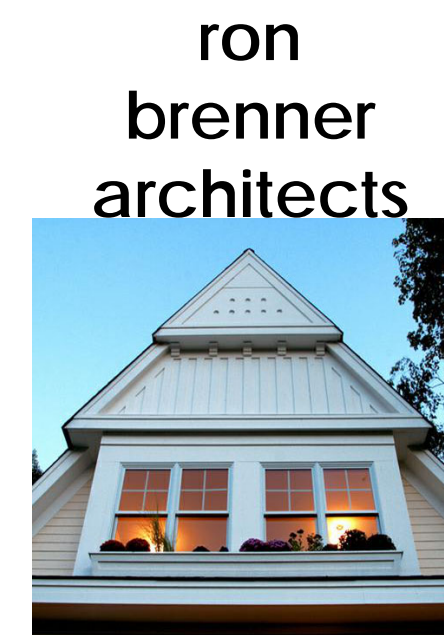
SPICE ALL SHEATHING ON A COMMON MEMBER SO AS TO PROPERLY TRANSFER SHEAR FORCES.
 ALL SHEATHING NAILING TO BE COMMON WIRE OR GALVANIZED NAILS.



1 Lower Level
 A2.1 1/4" = 1'-0"



2 Entry Pier Detail
 A2.1 1/2" = 1'-0"



226 chestnut street east
 stillwater, mn 55082
 www.ronbrennerarchitects.com
 651-342-1278

Consultants:

Revisions
No. Date Description

Builder:
HENDEL
 15250 WAYZATA BLVD.
 WAYZATA, MN 55391
 PHONE: (952) 484-7284

Date 5/17/2022
 Project Lewis
 No. _____
 Drawn By: RLB

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota.
 Signed: _____

License # _____
 Project Name:

LEWIS RESIDENCE
by HENDEL HOMES

38 Catbird Lane
 North Oaks, MN
 55127

Sheet Title:
 LOWER LEVEL FLOOR PLAN

PERMIT SET
 Sheet Number:

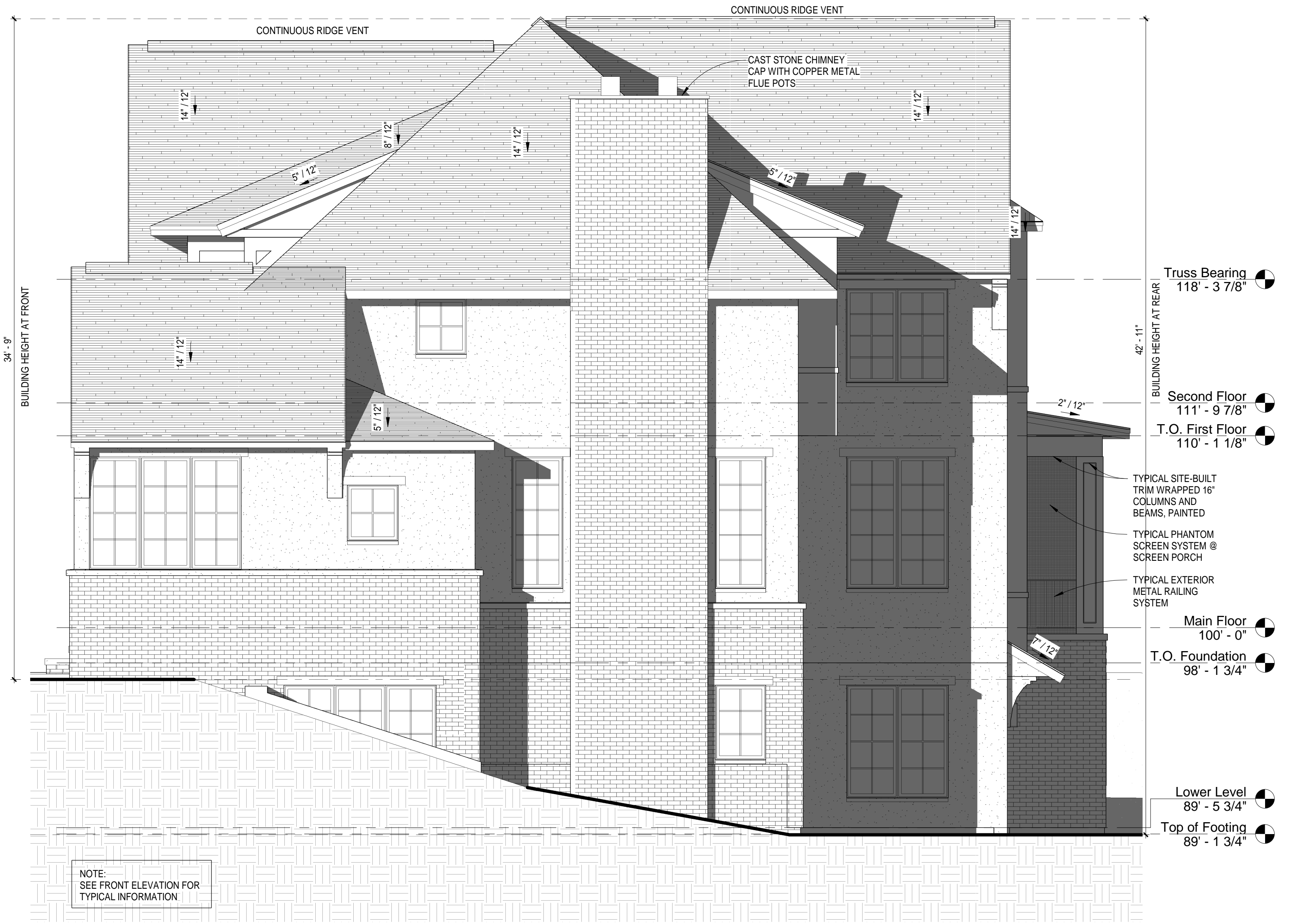
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- EXTERIOR ELEVATION NOTES:**
- TYPICAL ROOFING TO BE FIBERGLASS ASPHALT SHINGLES. SEE ELEVATIONS AND ROOF PLAN FOR NON-TYPICAL ROOFING MATERIALS AND LOCATIONS
 - TYPICAL FASCIA TO BE 1 X 6 TRIM OVER 2 X SUBFASCIA. REFER TO DRAWINGS FOR OTHER FASCIA CONDITIONS.
 - TYPICAL 2-PIECE FACIA TO BE 1X4 OVER 1X8 TRIM OVER 2X SUBFASCIA. REFER TO DRAWINGS FOR OTHER FACIA CONDITIONS.
 - INSTALL CONTINUOUS METAL DRIP FLASHING ALONG TOP OF FASCIA EDGE AND BENEATH SHINGLES. SEE ROOF PLAN AND ROOF PLAN NOTES.
 - ALL "TRIM" INDICATED ON PLANS AND NOTES TO BE "MIRATEC"-UNLESS NOTED OTHERWISE.
 - INSTALL W.R. GRACE VYCOR SELF-ADHERED FLASHING AND SEALANT SYSTEM AROUND ALL WINDOW AND DOOR FRAMES. INSTALL ALL FLASHING ITEMS AND INTEGRATE WITH AIR / MOISTURE BARRIER PER MANUFACTURERS RECOMMENDATIONS.
 - TYPICAL WINDOW AND DOOR TRIM TO BE AS FOLLOWS:
AT paneled siding
5/4 X 6 @ HEAD TRIM (WHERE NO CONTINUOUS TRIM)
5/4 X 6 @ JAMB TRIM
SLOPED CEDAR SILL CUT FROM 2X6 @ SILL
AT STUCCO SIDING
5-1/2" HIGH CAST STONE UNTELS @ HEADER W/ 4-1/2" O.H.
2-5/8" SLOPED CAST STONE @ SILL, NO O.H.
 - INSTALL CONTINUOUS METAL FLASHING AT ALL WINDOW AND DOOR HEADS AND AT ALL OTHER EXPOSED HORIZONTAL LEDGES
 - WINDOWS TO HAVE SPECIAL MUNTIN PATTERNS AS INDICATED
 - WHERE INDICATED EXTERIOR METAL RAILING SYSTEM TO BECUSTOM?
 - WHERE INDICATED CORNER BOARDS SHALL BE 5/4 X 7 TRIM
 - PANELED SIDING WHERE INDICATED TO BE FIBER CEMENT SHEET GOODS WITH 5/4 X 6 TRIM PIECES. INSTALL CONTINUOUS METAL FLASHING ALONG HORIZONTAL SEAMS.
 - ALL FIBER CEMENT SIDING AND TRIM MATERIALS TO BE SMOOTH FINISH
 - EXTERIOR COLUMNS TO BE SITE BUILT COLUMNS AROUND STRUCTURAL WOOD POST.
 - EXTERIOR BEAMS TO BE WRAPPED WITH TRIM PER THE DRAWINGS.
 - REFER TO DRAWINGS FOR ADDITIONAL NON-TYPICAL INFORMATION



1 Front Elevation
A3.1



3 Right Side Elevation
A3.1



Revisions

No.	Date	Description

Builder:
HENDEL
15250 WAYZATA BLVD.
WAYZATA, MN 55391
PHONE: (952) 404-7204

Date 5/25/2022
Project Lewis
No.:
Drawn By: RLB

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota.
Signed:

License # _____
Project Name:

**LEWIS
RESIDENCE
by HENDEL
HOMES**

38 Catbird Lane
North Oaks, MN
55127

Sheet Title:
EXTERIOR
ELEVATIONS

PERMIT SET

Sheet Number:

A3.1

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BUILDING HEIGHT AT FRONT ELEVATION IS LESS THAN MAX. 35'0" HEIGHT REQUIRED PER ZONING CODE

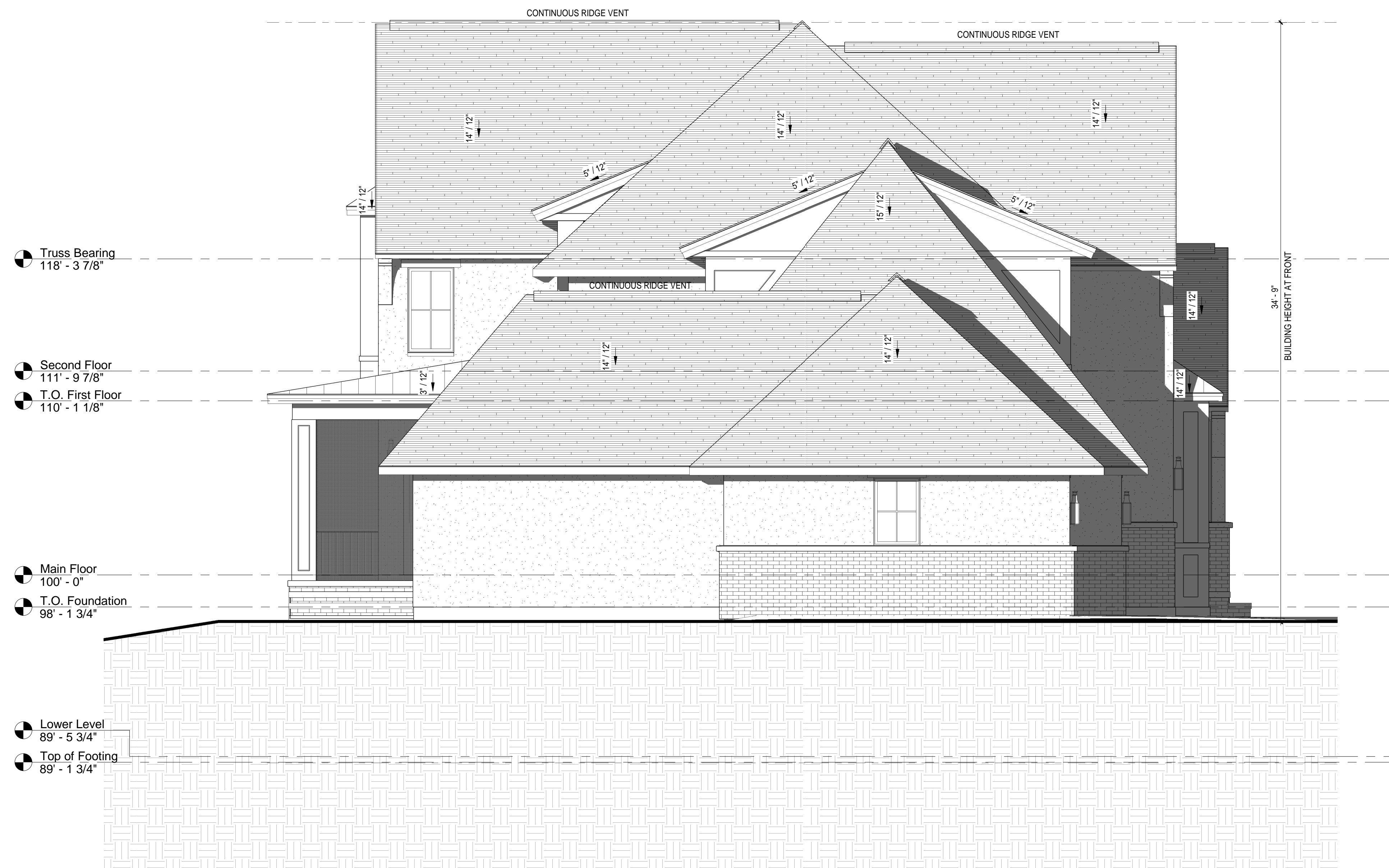
C

EXTERIOR ELEVATION NOTES:

- TYPICAL ROOFING TO BE FIBERGLASS ASPHALT SHINGLES. SEE ELEVATIONS AND ROOF PLAN FOR NON-TYPICAL ROOFING MATERIALS AND LOCATIONS
- TYPICAL FASCIA TO BE 1 X 6 TRIM OVER 2 X SUBFASCIA. REFER TO DRAWINGS FOR OTHER FASCIA CONDITIONS.
- TYPICAL 2-PIECE FACIA TO BE 1X4 OVER 1X8 TRIM OVER 2X SUBFASCIA. REFER TO DRAWINGS FOR OTHER FACIA CONDITIONS.
- INSTALL CONTINUOUS METAL DRIP FLASHING ALONG TOP OF FASCIA EDGE AND BENEATH SHINGLES. SEE ROOF PLAN AND ROOF PLAN NOTES.
- ALL "TRIM" INDICATED ON PLANS AND NOTES TO BE "MIRATEC"-UNLESS NOTED OTHERWISE.
- INSTALL W.R. GRACE 1"X3" SELF ADHERED FLASHING AND SEALANT SYSTEM AROUND ALL WINDOW AND DOOR FRAMES. INSTALL ALL FLASHING ITEMS AND INTEGRATE WITH AIR / MOISTURE BARRIER PER MANUFACTURERS RECOMMENDATIONS.
- TYPICAL WINDOW AND DOOR TRIM TO BE AS FOLLOWS:
 AT PANEL SIDING
 5/4 X 6 @ HEAD TRIM (WHERE NO CONTINUOUS TRIM)
 5/4 X 6 @ JAMB TRIM
 SLOPED CEDAR SILL CUT FROM 2X6 @ SILL AT STUCCO SIDING
 5-1/2" HIGH CAST STONE LINTELS @ HEADER W/ 4-1/2" O.H.
 2-5/8" SLOPED CAST STONE @ SILL, NO O.H.
- INSTALL CONTINUOUS METAL FLASHING AT ALL WINDOW AND DOOR HEADS AND AT ALL OTHER EXPOSED HORIZONTAL LEDGES
- WINDOWS TO HAVE SPECIAL MUNTIN PATTERNS AS INDICATED
- WHERE INDICATED EXTERIOR METAL RAILING SYSTEM TO BECUSTOM?
- WHERE INDICATED CORNER BOARDS SHALL BE 5/4 X 7 TRIM
- PANELED SIDING WHERE INDICATED TO BE FIBER CEMENT SHEET GOODS WITH 5/4 X 6 TRIM PIECES. INSTALL CONTINUOUS METAL FLASHING ALONG HORIZONTAL SEAMS.
- ALL FIBER CEMENT SIDING AND TRIM MATERIALS TO BE SMOOTH FINISH
- EXTERIOR COLUMNS TO BE SITE BUILT COLUMNS AROUND STRUCTURAL WOOD POST.
- EXTERIOR BEAMS TO BE WRAPPED WITH TRIM PER THE DRAWINGS.
- REFER TO DRAWINGS FOR ADDITIONAL NON-TYPICAL INFORMATION



1 Rear Elevation
A3.2 1/4" = 1'-0"



2 Left Side Elevation
A3.2 1/4" = 1'-0"



Consultants:

Revisions
No. Date Description

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Builder:
HENDEL

15250 WAYZATA BLVD.
WAYZATA, MN 55391
PHONE: (952) 404-7204

Date 5/25/2022
Project Lewis
No. _____
Drawn By: RLB

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota.
Signed: _____

License # _____

Project Name:

**LEWIS
RESIDENCE
by HENDEL
HOMES**

38 Catbird Lane
North Oaks, MN
55127

Sheet Title:
EXTERIOR
ELEVATIONS

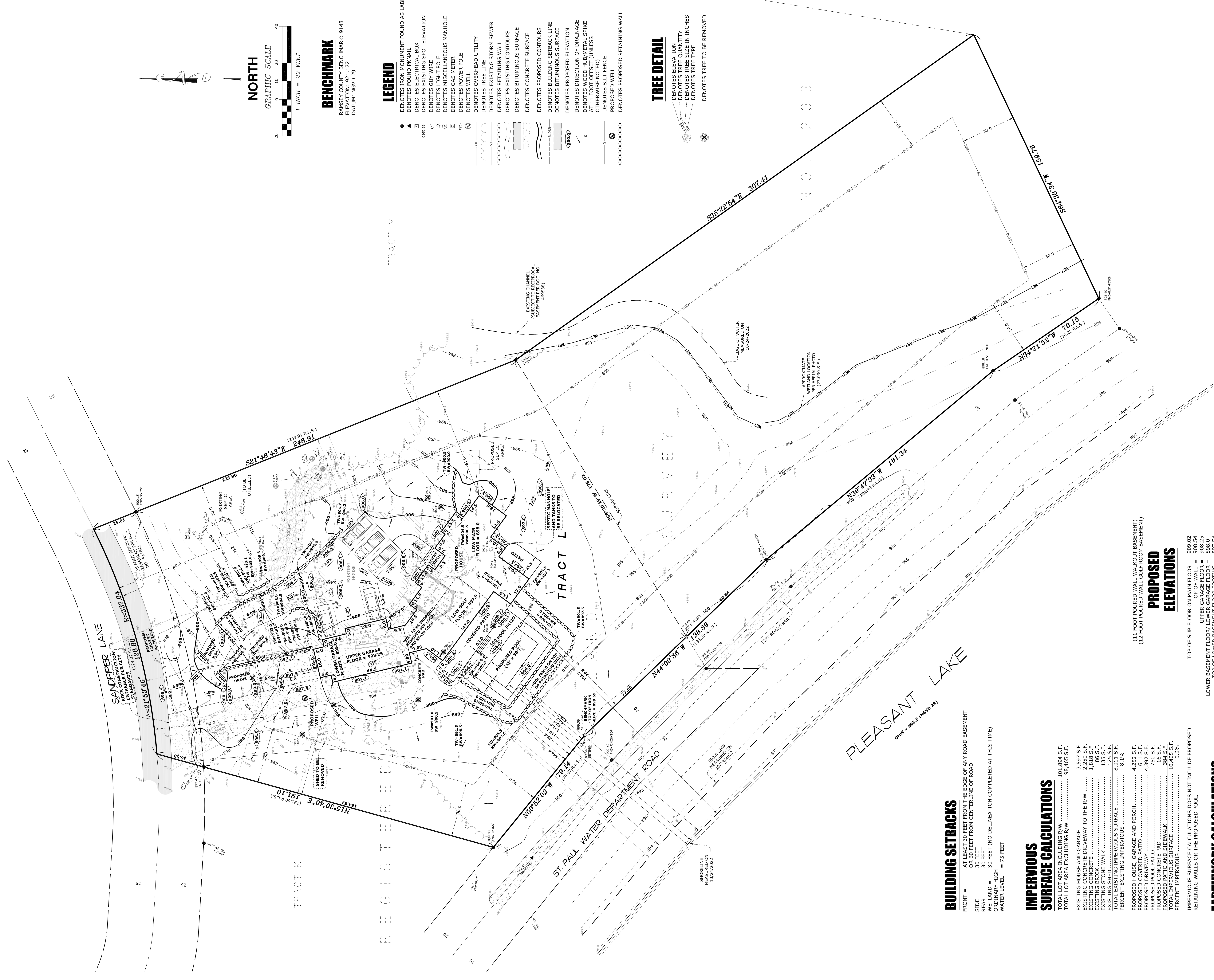
PERMIT SET

Sheet Number:

A3.2

CERTIFICATE OF SURVEY

~for~ MICHEL'S HOMES
~of~ 9 SANDPIPER LANE
NORTH OAKS, MN



BUILDING SETBACKS

FRONT = AT LEAST 30 FEET FROM THE EDGE OF ANY ROAD EASEMENT OR 60 FEET FROM CENTERLINE OF ROAD
 SIDE = 30 FEET
 REAR = 30 FEET
 WETLAND = 30 FEET (NO DELINEATION COMPLETED AT THIS TIME)
 ORDINARY HIGH WATER LEVEL = 75 FEET

IMPERVIOUS SURFACE CALCULATIONS

TOTAL LOT AREA INCLUDING R/W	101,894 S.F.
TOTAL LOT AREA EXCLUDING R/W	98,465 S.F.
EXISTING HOUSE AND GARAGE	3,597 S.F.
EXISTING DRIVEWAY TO THE R/W	1,818 S.F.
EXISTING CONCRETE	86 S.F.
EXISTING BRICK	86 S.F.
EXISTING STONE WALK	135 S.F.
EXISTING ASPHALT DRIVEWAY	1,000 S.F.
TOTAL EXISTING IMPERVIOUS SURFACE	8,011 S.F.
PERCENT EXISTING IMPERVIOUS	8.1%
PROPOSED HOUSE, GARAGE AND PORCH	4,357 S.F.
PROPOSED COVERED PATIO	611 S.F.
PROPOSED DRIVEWAY	4,392 S.F.
PROPOSED POOL PATIO	750 S.F.
PROPOSED PATIO AND SIDEWALK	384 S.F.
TOTAL IMPERVIOUS SURFACE	10,405 S.F.
PERCENT IMPERVIOUS	10.6%

IMPERVIOUS SURFACE CALCULATIONS DOES NOT INCLUDE PROPOSED RETAINING WALLS OR THE PROPOSED POOL.

EARTHWORK CALCULATIONS

TOTAL EARTHWORK CALCULATION	PROPOSED CUT = 1,645 CU. YDS.
PROPOSED FILL WITH 10% COMPACTION	NET = 14 CU. YDS. (FILL)
EARTHWORK AT 25' OFFSET TO FOUNDATION	PROPOSED CUT = 309 CU. YDS.
PROPOSED FILL WITH 10% COMPACTION	NET = 109 CU. YDS. (FILL)

PROPOSED ELEVATIONS

(11 FOOT POURED WALL WALKOUT BASEMENT)
 (12 FOOT POURED WALL GOLF ROOM BASEMENT)

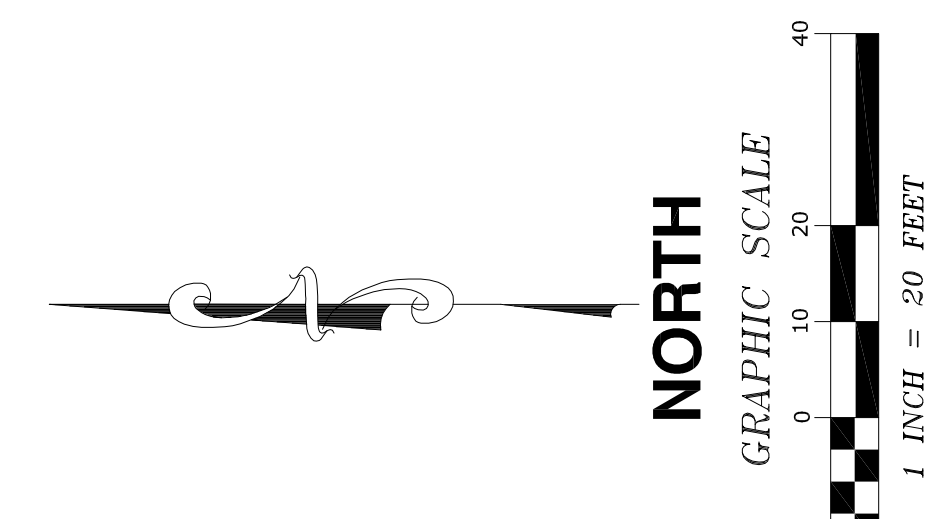
TOP OF SUB FLOOR ON MAIN FLOOR = 909.02
 TOP OF WALL = 908.54
 UPPER GARAGE FLOOR = 888.25
 TOP OF LOWER BASEMENT FLOOR FOOTING = 897.54
 LOW GOLF FLOOR = 897.0
 LOW GOLF FLOOR FOOTING = 896.54

NOTES

- Field survey was completed by E.G. Rud and Sons, Inc. on 10/24/22 and 10/28/22.
- Bearings shown are on Ramsey County datum.
- This survey was prepared utilizing Certificate of Title No. 648627.
- Restrictions and/or encumbrances may exist other than those shown hereon. Surveyor to review upon receipt of a current title commitment or an attorney's title opinion.
- Builder to verify house dimensions, sewer depth and foundation depth.
- Driveways are shown for graphic purposes only. Final driveway design and location to be determined by the contractor.
- Finished grade adjacent to home shall be 0.5 feet below top of block except at driveway and patio.

PROPERTY DESCRIPTION

[DESCRIPTION PER RAMSEY COUNTY CERTIFICATE OF TITLE NO. 648627.]
 Tract L, Registered Land Survey No. 203
 Subject to the rights of the Board of Water Commissioners of the City of Saint Paul as set forth in the following instruments: Deed dated June 1, 1982, recorded in Book 102 of Deeds and Book 102 of Mortgages, recorded in Book 948 of Deeds on Page 208; Deed dated 4-29-43; Deed filed January 26, 1935, recorded in Book 948 of Deeds on Page 208; Deed and Agreement dated July 12, 1951, recorded in Book 1411 of Deeds on Page 46, all as set forth in Ramsey County Records.
 Subject to Restrictions and Conditions contained in Document Number 411345.



BENCHMARK
 RAMSEY COUNTY BENCHMARK: 9148
 ELEVATION: 921.172
 DATUM: NGVD 29

LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES FOUND PAVEMENT
- DENOTES FOUND CONCRETE
- DENOTES EXISTING SPOT ELEVATION
- DENOTES GUY WIRE
- DENOTES LIGHT POLE
- DENOTES MISCELLANEOUS MANHOLE
- DENOTES GAS METER
- DENOTES POWER POLE
- DENOTES OVERHEAD UTILITY
- DENOTES TREE LINE
- DENOTES EXISTING STORM SEWER
- DENOTES RETAINING WALL
- DENOTES EXISTING CONTOURS
- DENOTES BITUMINOUS SURFACE
- DENOTES CONCRETE SURFACE
- DENOTES PROPOSED CONTOURS
- DENOTES BUILDING SETBACK LINE
- DENOTES BITUMINOUS SURFACE
- DENOTES PROPOSED ELEVATION
- DENOTES DIRECTION OF DRAINAGE
- DENOTES WOOD HUB/METAL SPIKE AT 1/4 FOOT OFFSET (UNLESS OTHERWISE NOTED)
- DENOTES SILT FENCE
- DENOTES WELL
- DENOTES PROPOSED RETAINING WALL

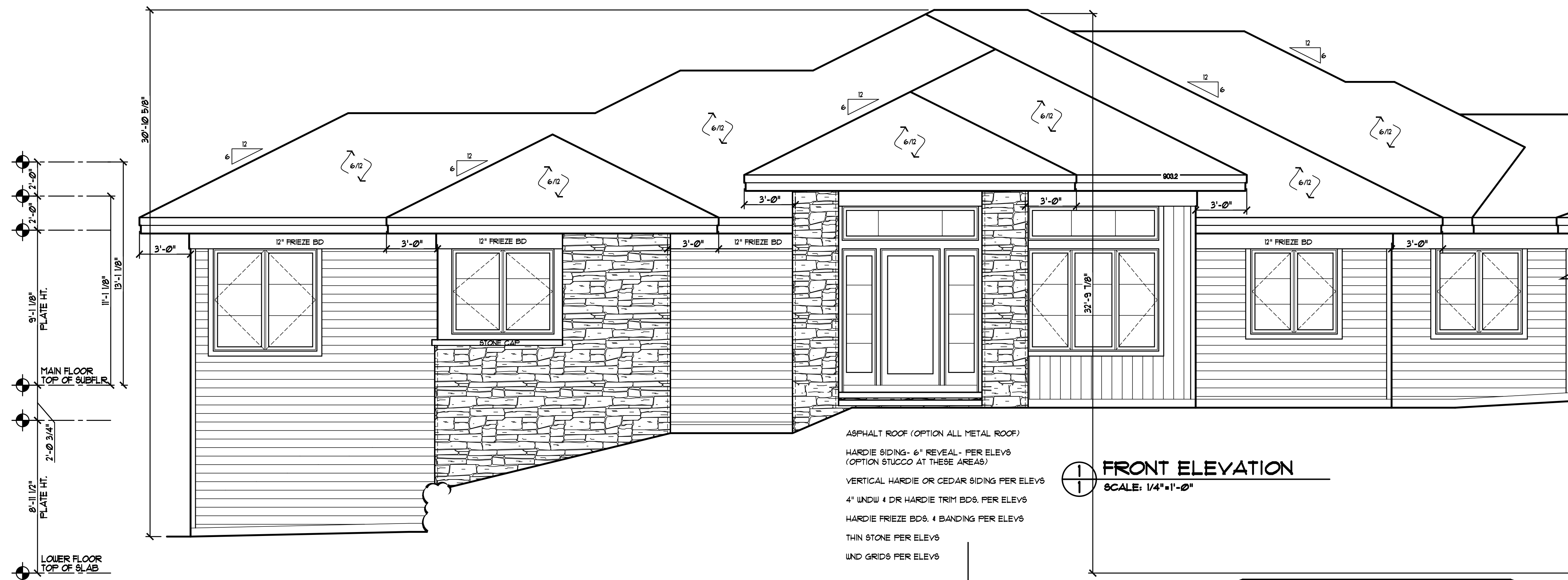
TREE DETAIL

- DENOTES ELEVATION
- DENOTES TREE SPECIES
- DENOTES TREE SIZE IN INCHES
- DENOTES TREE TO BE REMOVED

E.G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-8701
 www.egrud.com

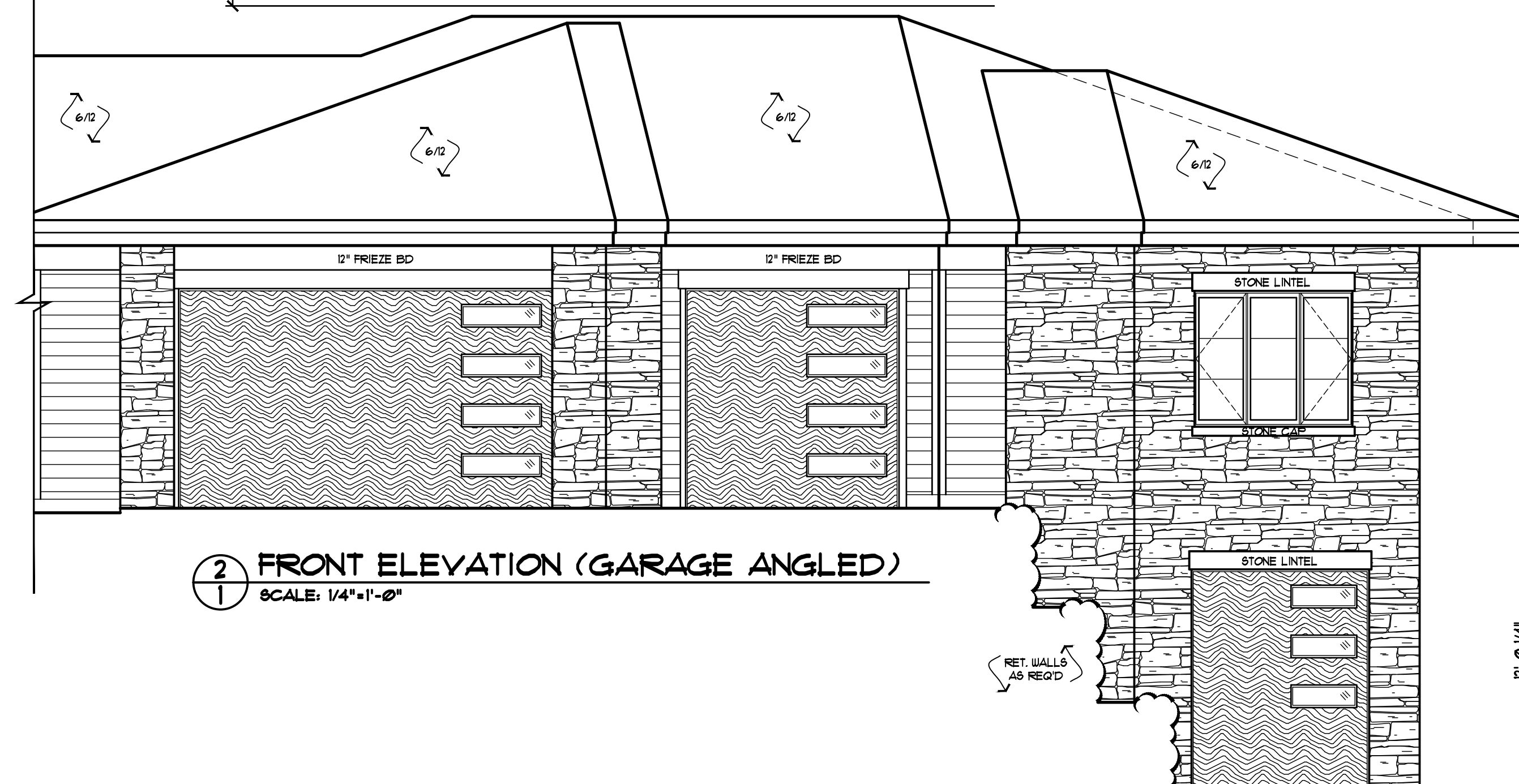
Date: 6/22/2023 License No. 41578
 JACON E. RUD
 I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

NO.	DATE	CITY DESCRIPTION	BY
1	03/24/23	REV. SCALE AND REOR. HOUSE	BRN
2	03/24/23	ADD EARTHWORK - REV. RET. WALL	BRN
3	03/24/23	MOVED HOUSE BACK FOR 8% DRIVE	BRN
4	05/02/23	REV. PER NEW HOUSE PLANS	BRN
5	05/24/23	REV. GARAGE STAIRWELL AREA	BRN
6	05/29/23	UPDATED EARTHWORK CALC.	BRN
7	06/02/23	ADD 25' EARTHWORK CURBS	BRN

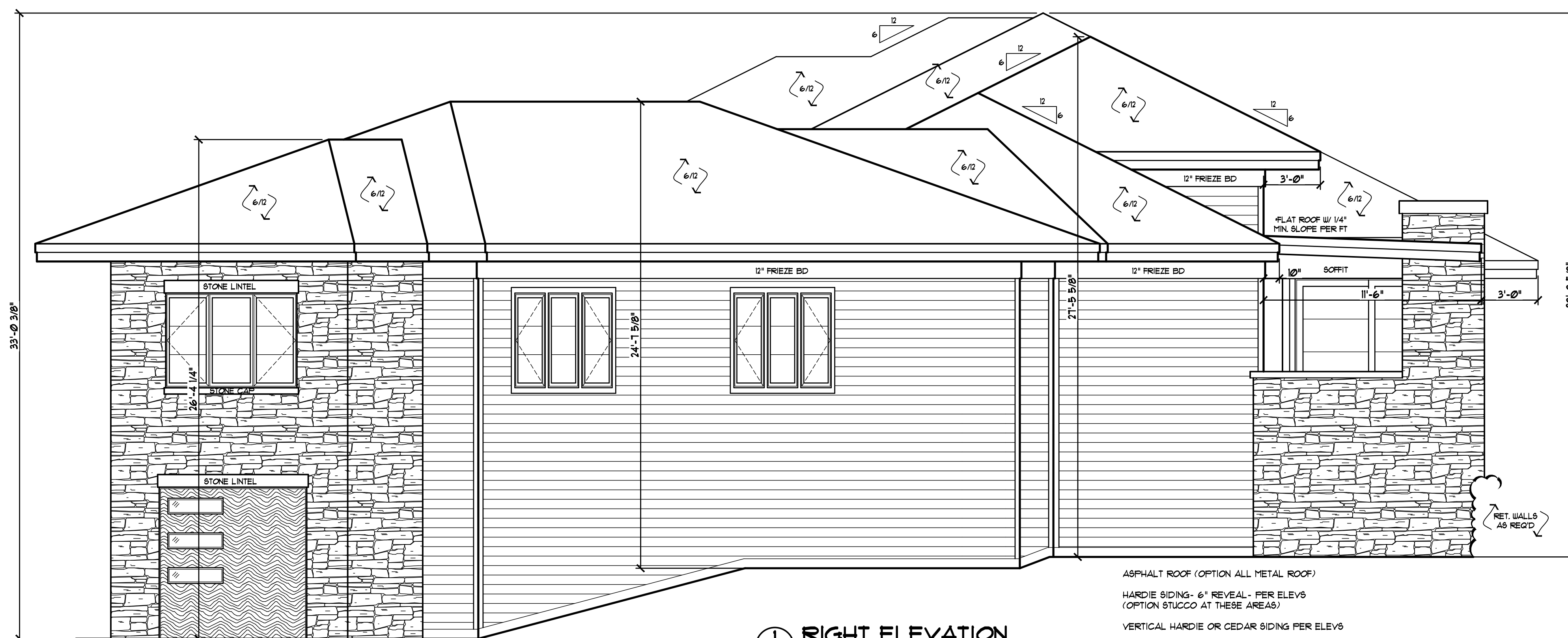


ASPHALT ROOF (OPTION ALL METAL ROOF)
HARDIE SIDING- 6" REVEAL - PER ELEV.
(OPTION STUCCO AT THESE AREAS)
VERTICAL HARDIE OR CEDAR SIDING PER ELEV.
4" WINDU + DR HARDIE TRIM BDS. PER ELEV.
HARDIE FRIEZE BDS. 4 BANDING PER ELEV.
THIN STONE PER ELEV.
WIND GRIDS PER ELEV.

1 FRONT ELEVATION
SCALE: 1/4"=1'-0"

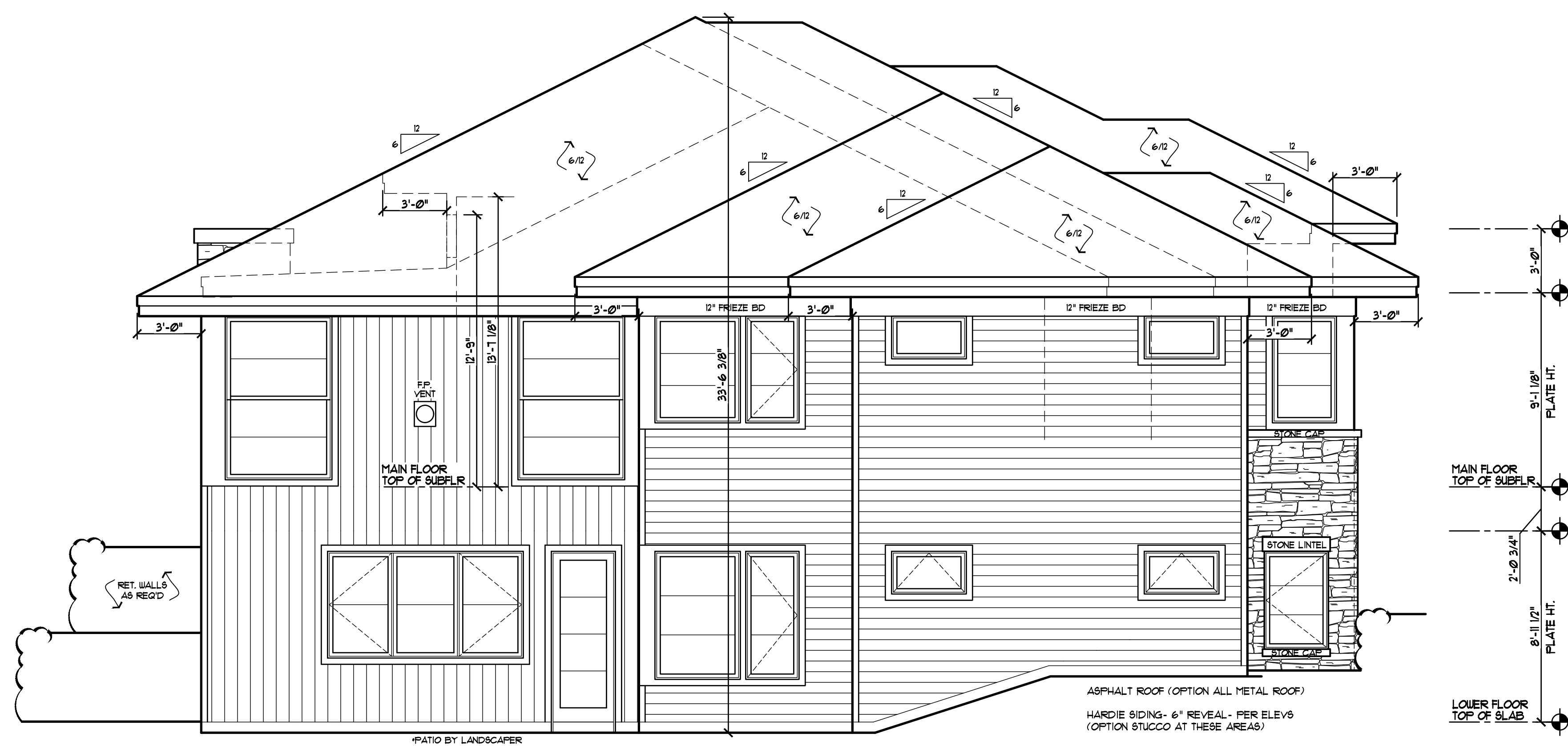


2 FRONT ELEVATION (GARAGE ANGLED)
SCALE: 1/4"=1'-0"



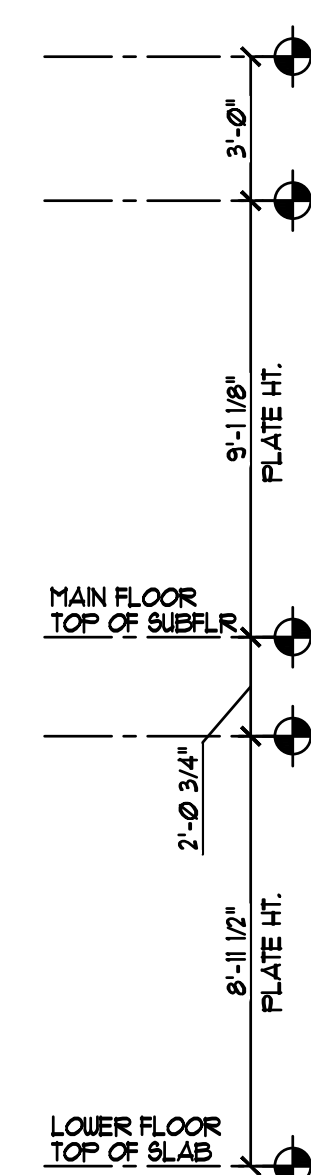
1
3 RIGHT ELEVATION
SCALE: 1/4"=1'-0"

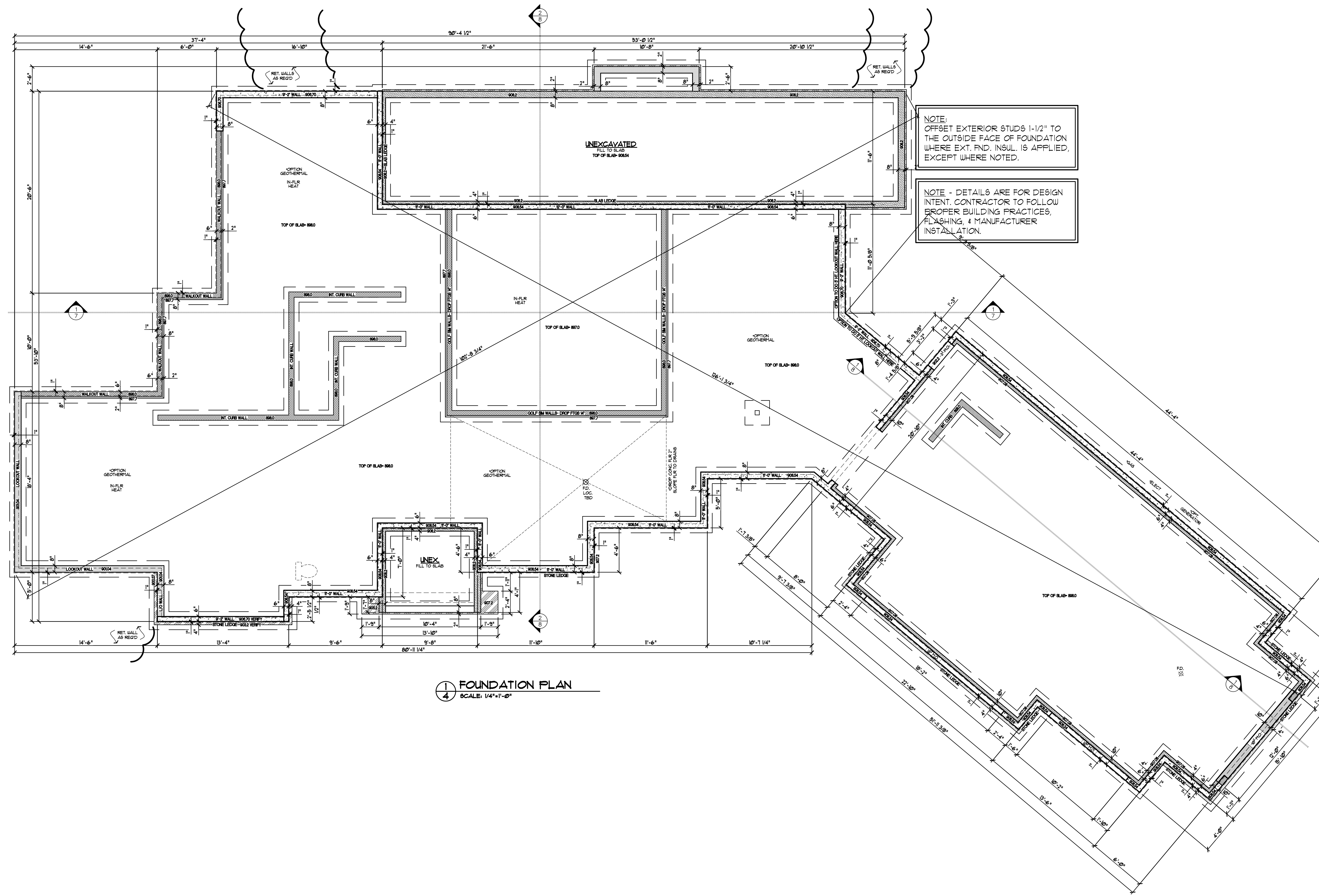
- ASPHALT ROOF (OPTION ALL METAL ROOF)
- HARDIE SIDING - 6" REVEAL - PER ELEVS
(OPTION STUCCO AT THESE AREAS)
- VERTICAL HARDIE OR CEDAR SIDING PER ELEVS
- 4" UNDW 4 DR HARDIE TRIM BDS. PER ELEVS
- HARDIE FRIEZE BDS. 4 BANDING PER ELEVS
- THIN STONE PER ELEVS
- UND GRIDS PER ELEVS



2
3 LEFT ELEVATION
SCALE: 1/4"=1'-0"

- ASPHALT ROOF (OPTION ALL METAL ROOF)
- HARDIE SIDING - 6" REVEAL - PER ELEVS
(OPTION STUCCO AT THESE AREAS)
- VERTICAL HARDIE OR CEDAR SIDING PER ELEVS
- 4" UNDW 4 DR HARDIE TRIM BDS. PER ELEVS
- HARDIE FRIEZE BDS. 4 BANDING PER ELEVS
- THIN STONE PER ELEVS
- UND GRIDS PER ELEVS

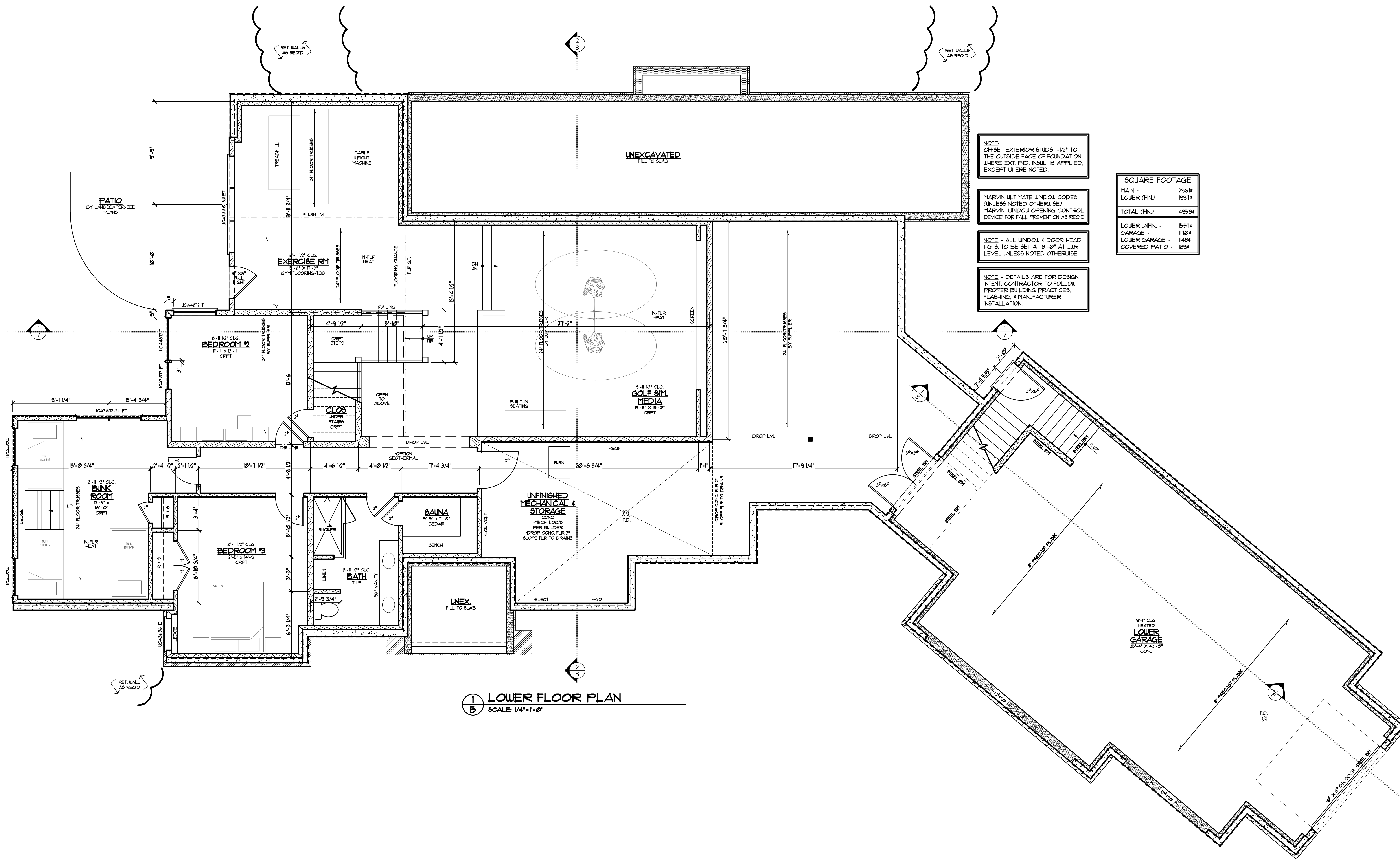




NOTE:
OFFSET EXTERIOR STUDS 1-1/2" TO
THE OUTSIDE FACE OF FOUNDATION
WHERE EXT. FND. INSUL. IS APPLIED,
EXCEPT WHERE NOTED.

NOTE - DETAILS ARE FOR DESIGN
INTENT. CONTRACTOR TO FOLLOW
PROPER BUILDING PRACTICES,
FLASHING, & MANUFACTURER
INSTALLATION.

FOUNDATION PLAN
SCALE: 1/4"=1'-0"



NOTE:
OFFSET EXTERIOR STUDS 1-1/2" TO
THE OUTSIDE FACE OF FOUNDATION
WHERE EXT. FND. INSUL. IS APPLIED,
EXCEPT WHERE NOTED.

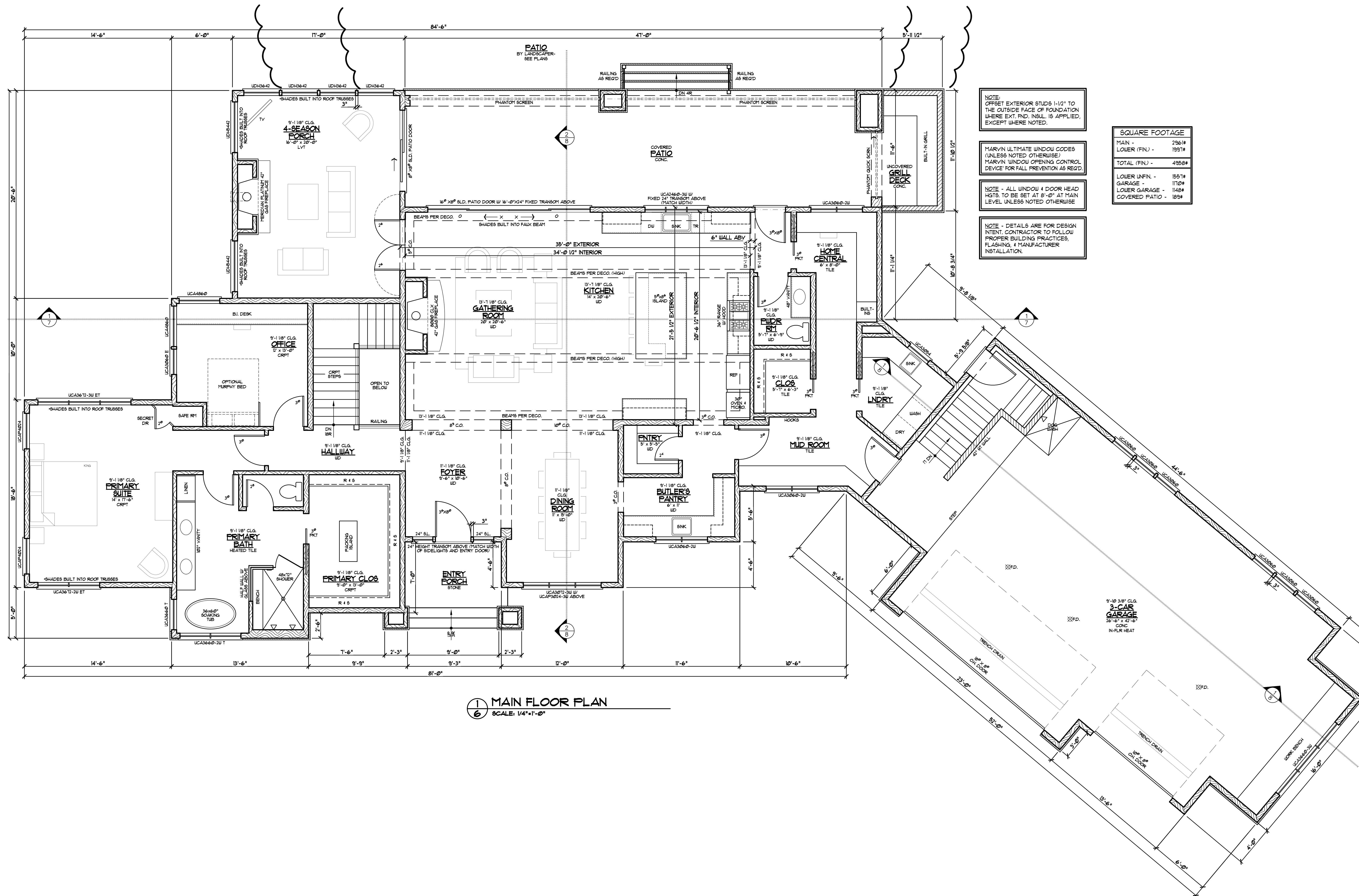
MARVIN ULTIMATE WINDOW CODES
(UNLESS NOTED OTHERWISE)
MARVIN WINDOW OPENING CONTROL
DEVICE FOR FALL PREVENTION AS REQ'D.

NOTE - ALL WINDOW & DOOR HEAD
HGT'S. TO BE SET AT 0'-0" AT LUR
LEVEL UNLESS NOTED OTHERWISE

NOTE - DETAILS ARE FOR DESIGN
INTENT. CONTRACTOR TO FOLLOW
PROPER BUILDING PRACTICES,
FLASHING, & MANUFACTURER
INSTALLATION.

SQUARE FOOTAGE	
MAIN -	2361#
LOWER (FIN) -	1991#
TOTAL (FIN) -	4352#
LOWER UNFIN. -	1551#
GARAGE -	1170#
LOWER GARAGE -	1149#
COVERED PATIO -	189#

1
5 LOWER FLOOR PLAN
SCALE: 1/4"=1'-0"



NOTE:
OFFSET EXTERIOR STUDS 1-1/2" TO
THE OUTSIDE FACE OF FOUNDATION
WHERE EXT. FND. INSUL. IS APPLIED,
EXCEPT WHERE NOTED.

MARVIN ULTIMATE WINDOW CODES
(UNLESS NOTED OTHERWISE)
MARVIN WINDOW OPENING CONTROL
DEVICE FOR FALL PREVENTION AS REQ'D.

NOTE - ALL WINDOW & DOOR HEAD
HTGS. TO BE SET AT 8'-0" AT MAIN
LEVEL UNLESS NOTED OTHERWISE

NOTE - DETAILS ARE FOR DESIGN
INTENT. CONTRACTOR TO FOLLOW
PROPER BUILDING PRACTICES,
FLASHING, & MANUFACTURER
INSTALLATION.

SQUARE FOOTAGE	
MAIN -	2361#
LOWER (FINU) -	1997#
TOTAL (FINU) -	4358#
LOWER UNFIN. -	1557#
GARAGE -	1170#
LOWER GARAGE -	1148#
COVERED PATIO -	189#

NOTE:
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ALL EXTERIOR DIMENSIONS TAKEN FROM OUTSIDE OF STUD. EXTERIOR STUD OFFSET FROM FOUNDATION 1/2" OF FACE OF FOUNDATION WHERE EXTERIOR FOUNDATION INSULATION IS APPLIED, EXCEPT WHERE NOTED. ALL DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DRAWINGS. ALL DIMENSIONS & CONDITIONS TO BE VERIFIED BY GENERAL CONTRACTOR. ALL STRUCTURAL COMPONENTS & CONNECTIONS TO BE ENGINEERED BY SUPPLIER. ALL WOOD HEADERS TO BE 2-2x10 UNLESS OTHERWISE NOTED. ALL WOOD ABUTTING CONCRETE TO BE TREATED. VERIFY ANGLES WITH FLOORPLANS (45° UNLESS OTHERWISE NOTED). CONSTRUCTION SHOULD BE PERFORMED TO CURRENT STATE OF MINNESOTA BUILDING & ENERGY CODES AND TO LOCAL INDUSTRY STANDARDS & STANDARD INDUSTRY PRACTICES. ALL WINDOWS AND DOORS SHOULD BE INSTALLED PER MANUFACTURER'S INSTALLATION REQUIREMENTS. ALL STUCCO SHALL BE INSTALLED PER MINNESOTA LATH AND PLASTER BUREAU GUIDELINES. ALL WEATHER RESISTIVE BARRIERS SHALL BE INSTALLED PER IRC SEC. R1603.2 AS AMENDED BY THE STATE OF MINNESOTA RULES SECTION 1309.0103.

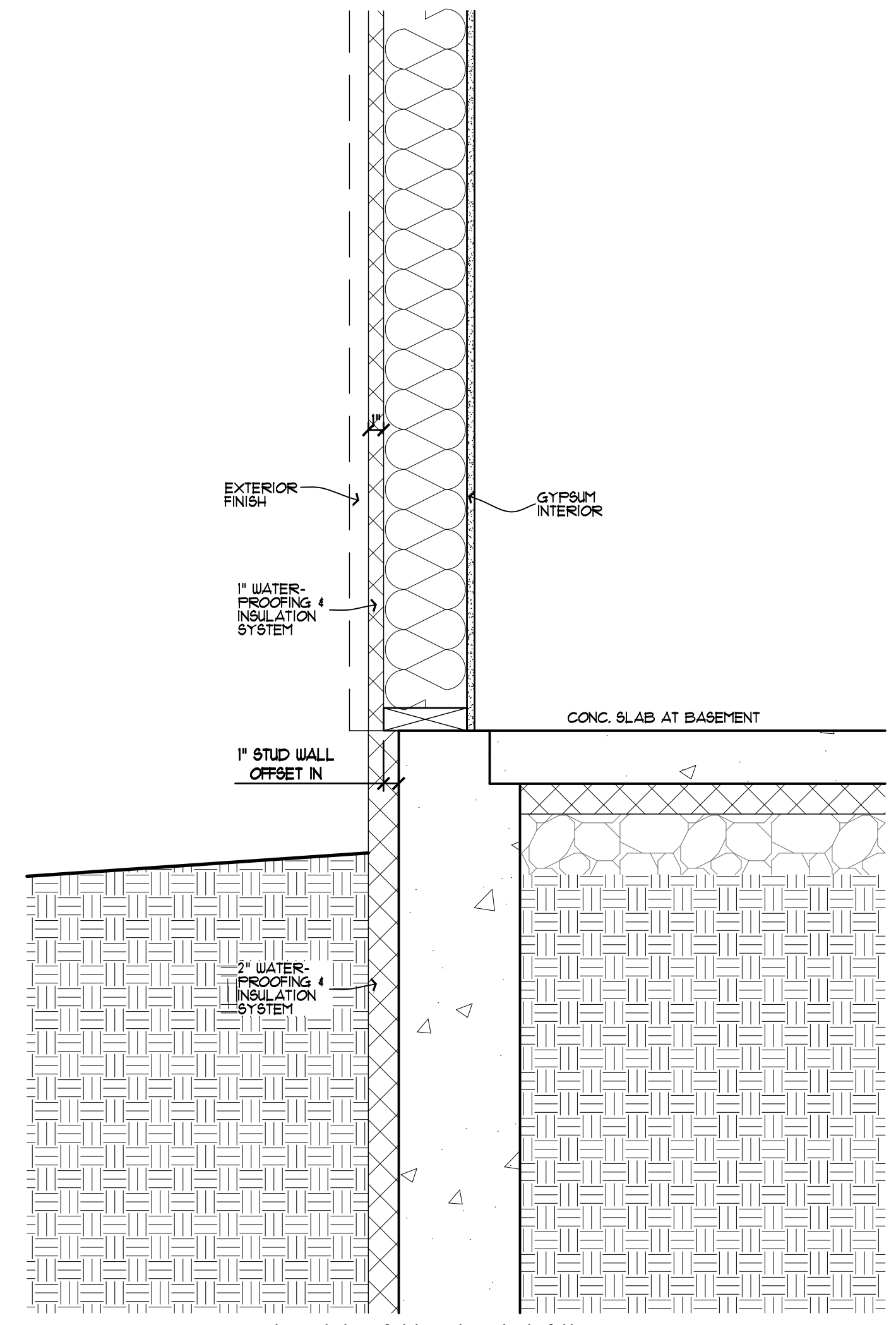
ROOF CONSTRUCTION:
ROOF VENTS AS REQ'D. - 1/300.
ASPHALT SHINGLES
FELT PAPER w/ ICE & WATER SHIELD.
FULL ICE & WATER • ROOFS UNDER 4:12
5/8" OSB ROOF SHEATHING.
WOOD TRUSSES • 24" O.C. - ENGINEERED BY SUPPLIER.
BAFFLE • EACH TRUSS SPACE.
R-49 BLOW-IN INSULATION.
POLY VAPOR BARRIER - 6 MIL.
5/8" GYP. BD. CEILING.

SOFFIT/FASCIA CONSTRUCTION:
HARDIE SOFFIT w/ CONT. VENTS.
SEE DETAIL.

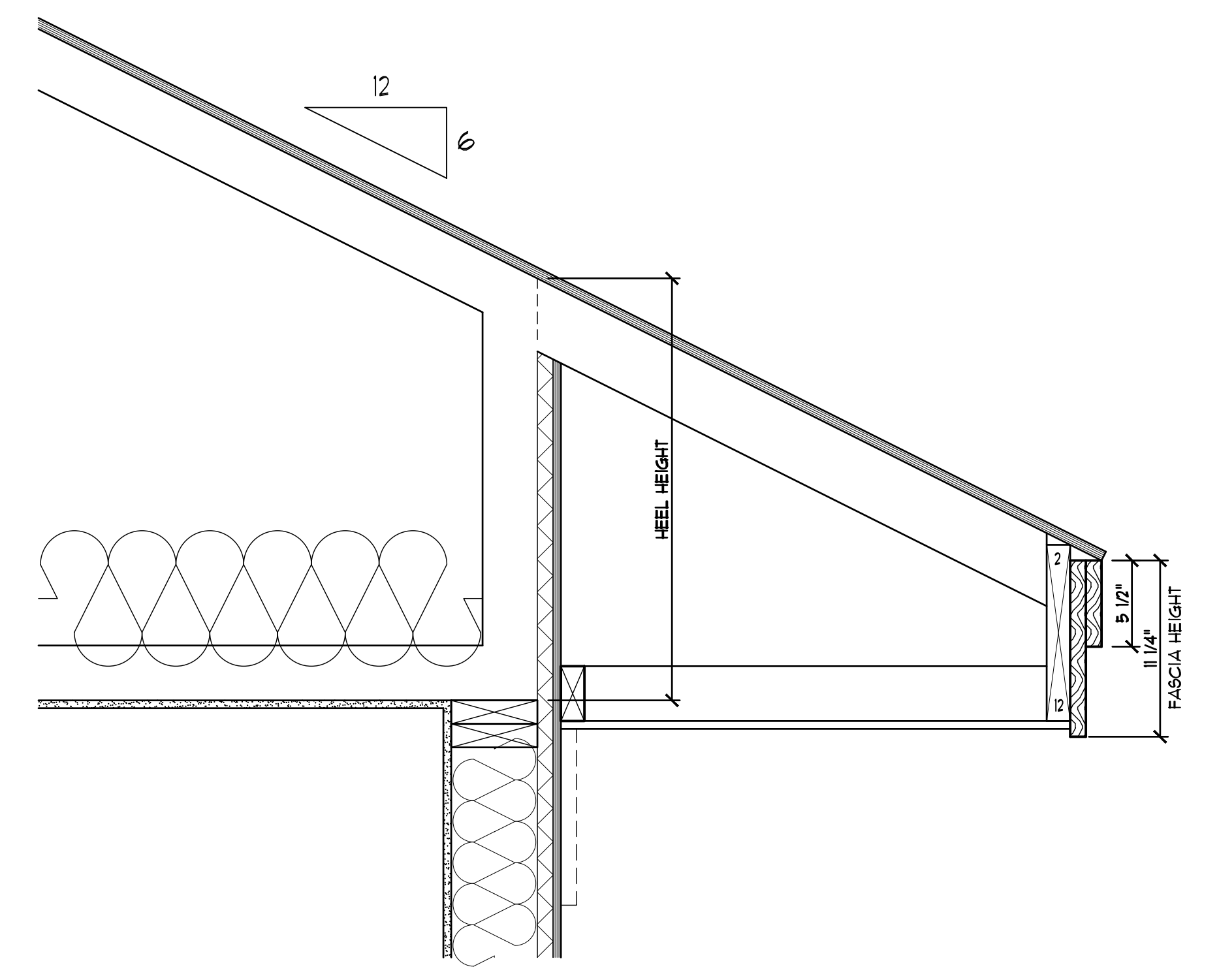
WALL CONSTRUCTION:
SIDING PER ELEVATIONS.
2 LAYERS GRADE D" BUILDING PAPER.
R2 INSULATED ZIP SHEATHING. (1" FOAM ON 1/2" SHEATHING)
2x6 STUDS • 16" O.C.
3" SPRAY "U" FOAM INSUL. & SEALER - R-30 MIN OR FIBER GLASS Batts.
CONTINUOUS POLY VAPOR BARRIER - 6 MIL. - SEAL ALL BEAMS & PENETRATIONS
5/8" GYP. BD. - TAPED, SANDED, PAINTED

FLOOR CONSTRUCTION:
FINISHED FLOOR.
3/4" T. & G. PLYWOOD SUBFLOOR.
24" FLOOR TRUSSES, SPACING PER SUPPLIER UNLESS OTHERWISE NOTED.
SPRAYED U-FOAM INSUL. • R11 R-21
5/8" GYP. BD. • FINISHED AREAS.

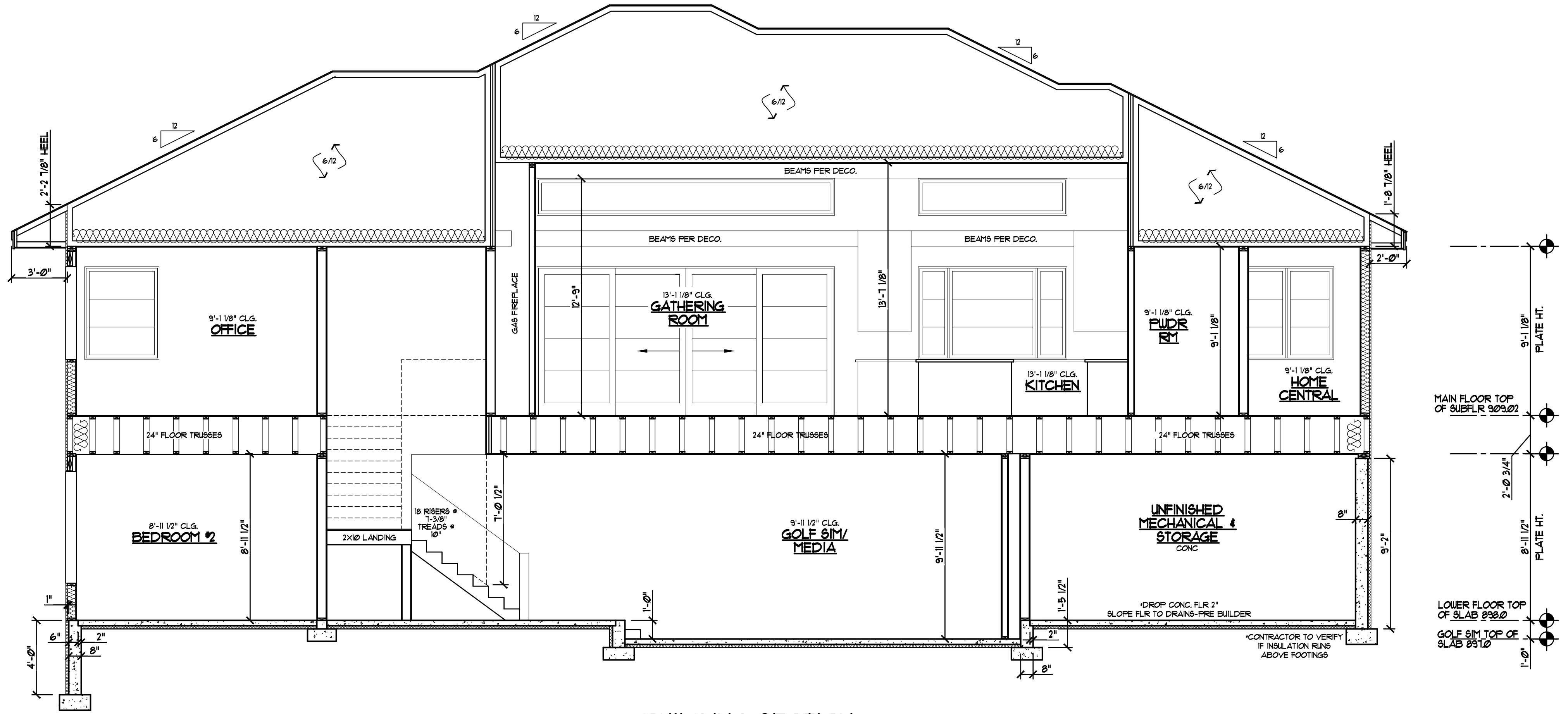
FOUNDATION:
1/2" x 14" ANCHOR BOLTS • 5' O.C.
2x6 TREATED SILL & SEALER.
8" W/ FURRED CONC. WALLS MIN. - (SEE DETAILS & PLANS)
2x4 FURRING • 16" O.C. - HOLD OUT 1/2" FROM CONC. - 2x4 TRTD SILL PLATE
R-15 INSUL w/ R-10 MIN • EXTERIOR & SEALER OR EQUAL
8" x 16" CONC. FTG. w/ 2- #4s CONT. MIN. - (SEE DETAILS & PLANS)
WATCHDOG WATERPROOFING OR EQUAL
3 1/2" CONC. SLAB
2" RIGID INSULATION
POLY VAPOR BARRIER
INTERIOR AND EXTERIOR DRAIN TILE TO SUMP BUCKET



2 FOUNDATION DETAIL
SCALE: 1/2"=1'-0"



3 TYPICAL FASCIA / DIM DIAGRAM
SCALE: 1/2"=1'-0"



1 BUILDING SECTION
SCALE: 1/4"=1'-0"

ALEXANDER DESIGN GROUP
275 EAST LAKE STREET SUITE 102
WAYZATA, MN 55391
Phone: 952.473.8777

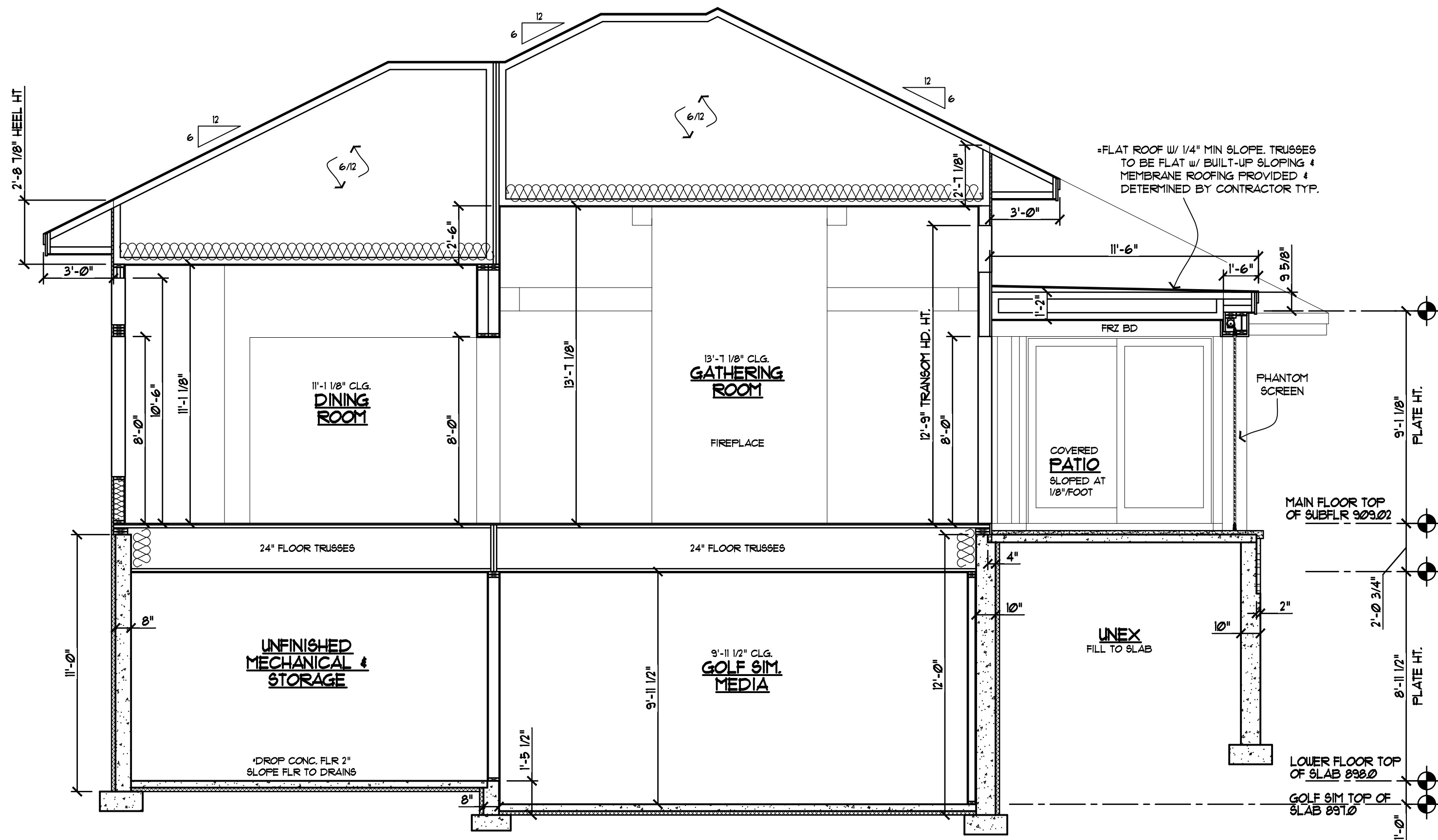
ISSUE DATE:
05 JUL Y 2023
PREVIOUS ISSUE DATE(S):

DRAWING DESCRIPTION:
BUILDING SECTION & DETAILS
ADG

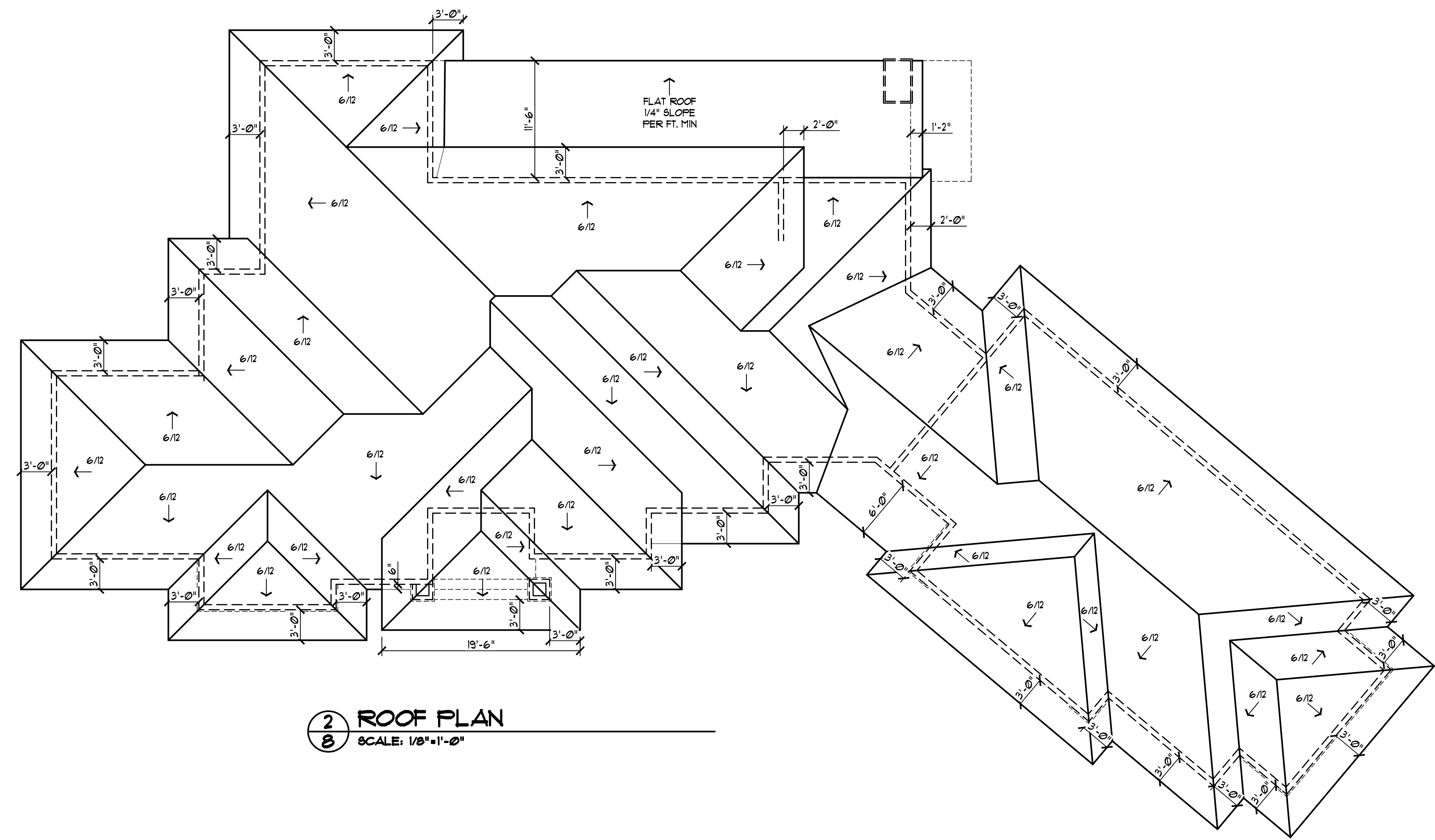
BID SET ONLY
NOT FOR CONSTRUCTION

SCHWEIZER
9 SAND PIPER LANE
NORTH OAKS, MN

1
1 OF XX



2 BUILDING SECTION
SCALE: 1/4"=1'-0"



2 ROOF PLAN
SCALE: 1/8"=1'-0"

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ALL STUCCO SHALL BE INSTALLED PER MINNESOTA LATH AND PLASTER BUREAU GUIDELINES.
ALL WEATHER RESISTIVE BARRIERS SHALL BE INSTALLED PER IRC SEC. R103.2 AS AMENDED BY THE STATE OF MINNESOTA RULES SECTION 1309.1023.

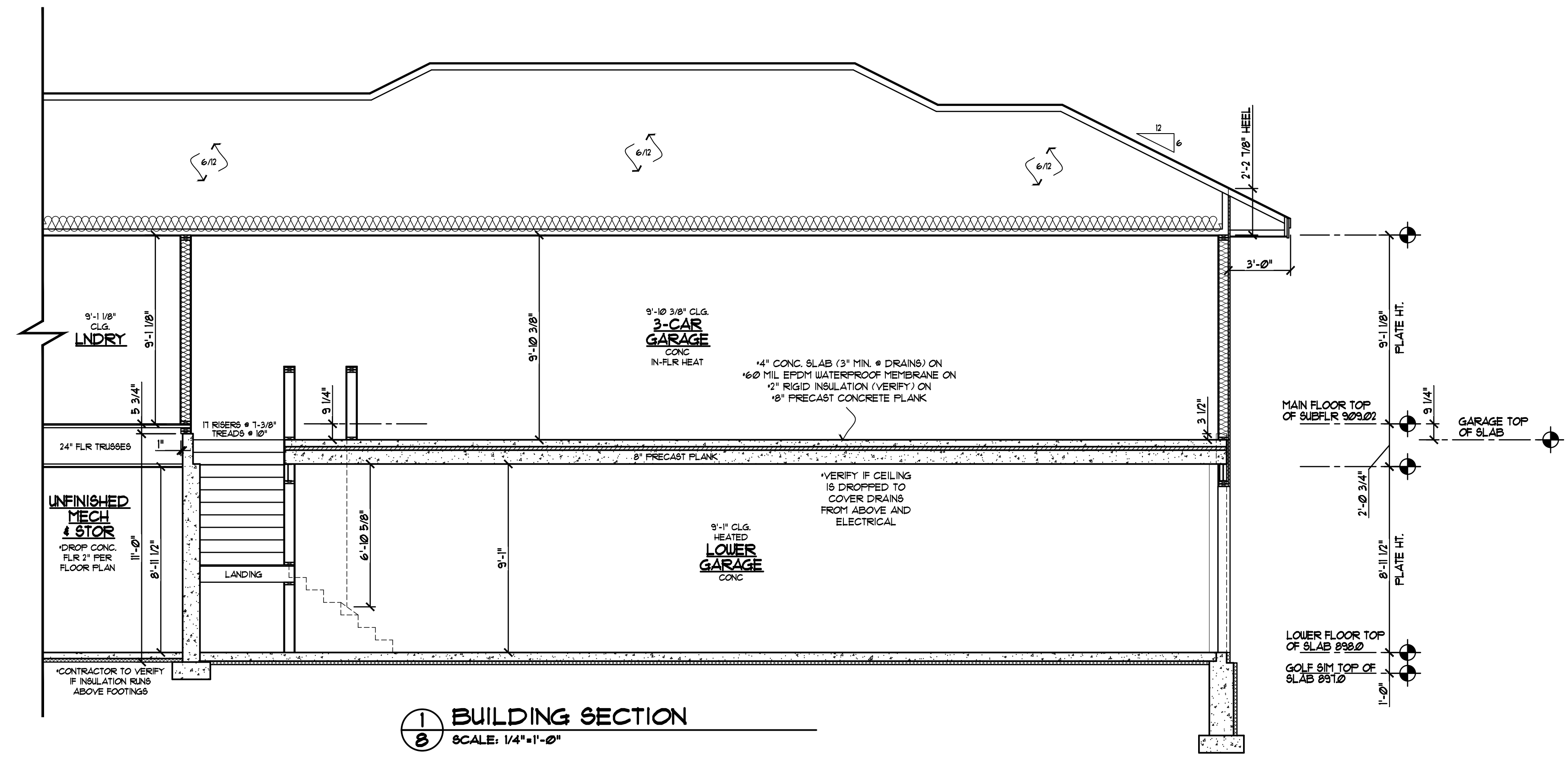
ROOF CONSTRUCTION:
ROOF VENTS AS REQ'D. - 1/300.
ASPHALT SHINGLES
FELT PAPER w/ ICE & WATER SHIELD.
FULL ICE & WATER # ROOFS UNDER 4:12
5/8" OSB ROOF SHEATHING.
WOOD TRUSSES # 24\"/>

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HARDIE SOFFIT w/ CONT. VENTS.
SEE DETAIL.

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24" FLOOR TRUSSES, SPACING PER SUPPLIER UNLESS OTHERWISE NOTED.
8" RIM R-21
5/8" GYP. BD. # FINISHED AREAS.

FOUNDATION:
1/2" x 1/4" ANCHOR BOLTS # 5\"/>



1 BUILDING SECTION
SCALE: 1/4"=1'-0"

ALEXANDER DESIGN GROUP
275 EAST LAKE STREET SUITE 102 WAYZATA, MN 55391 Phone: 952.473.8777

ISSUE DATE: 05 JUL Y 2023
PREVIOUS ISSUE DATE:

DRAWING DESCRIPTION: BUILDING SECTION & ROOF PLAN
ADG

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NOT FOR CONSTRUCTION

SCHWEIZER
9 SAND PIPER LANE
NORTH OAKS, MN

8 OF XX