



CITY OF NORTH OAKS

**Special Planning Commission Meeting
Wednesday, April 12, 2023
7 PM, Community Meeting Room, 100 Village Center Drive
MEETING AGENDA**

Remote Access - *Members of the public may participate in the public hearing by:*

- 1) *Attending the meeting in person and providing public comment during the public hearing;*
- 2) *Attending the meeting remotely and providing public comment via zoom at the following Zoom meeting videoconference number: 1-312-626-6799, Webinar ID: 857 1566 7387 or by joining the meeting via the following link: <https://us02web.zoom.us/j/85715667387>. Individuals wishing to monitor the meeting remotely may do so in real time by watching the livestream of the meeting on North Oaks Channel 16 and on the City's website.*

1. Call to Order

2. Roll Call

3. Pledge

- 4. Citizen Comments** - *Members of the public are invited to make comments to the Planning Commission during the public comments section. Up to four minutes shall be allowed for each speaker. No action will be taken by the Commission on items raised during the public comment period unless the item appears as an agenda item for action.*

5. Approval of Agenda

6. Approval of Previous Month's Minutes

- 6a. Approval of Planning Commission Meeting minutes of March 9th, 2023
[Planning Commission Minutes 3.9.2023 v2.pdf](#)

7. Business Action Items

- 7a. Discussion and possible action on naming a Vice-Chair
- 7b. Consider Application for Comprehensive Plan Amendment to amend City of North Oaks 2040 Comprehensive Plan to add additional properties within the areas designated for future municipal sewer and water service and within the area designated as emerging suburban edge. (Modification of Tables 12, 13, 14 and 15 of Chapter 3 and amendments to Maps 1, 16, 17 and 18 of the City of North Oaks 2040 Comprehensive Plan which would allow the installation of municipal sanitary sewer and water systems, as well as the addition to the Emerging

Suburban Edge (Map 1), Future Sewer Area (Map 16), Future Service Area (Map 17), and Future Water Service Areas (Map 18). The areas proposed to be added to Maps 16, 17 are Tracts A through R of RLS 640. Maps 1 and 18 areas proposed to be added area Tracts A through R of RLS 640 and Tracts F and H of RLS 561.)

- a. Public Hearing
- b. Discussion and Consideration of Recommendation to City Council Regarding Application

[2023-04-12_Red_Forest_Way_CPA_PC_Packet.pdf](#)

- 7c. Consideration of Application for Property Subdivision (Preliminary Plan Approval) for Subdivision of RLS 640, Tract R, Red Forest Way South Phase 2) to Determine if Application is Complete
 - a. Discussion
 - b. Consideration of Resolution No.2023-1 Determining the Preliminary Plan Application is Complete

[2023-04-12_RFWS_Phase_2_PC_Packet_completeness.pdf](#)

- 7d. Discussion and Possible Action on Planning Commission 2023 Meeting Schedule
[2023_PC_MEETING_SCHEDULE_-_DRAFT2.pdf](#)

- 7e. Discussion on Land Use Ordinances including possible future amendments to Planning Commission Ordinance, and Comprehensive Plan Ordinance, as well as Voting Procedures and Adoption of Rules of Order
[2023-04-12_PC_Report_ordinance_updates.pdf](#)

8. Commissioner Reports

9. **Adjourn** - *The next meeting of the Planning Commission is xxx (pending agenda item 7d).*

**North Oaks Planning Commission
Meeting Minutes
City of North Oaks Via Electronic Means and Community Room
March 9, 2022**

CALL TO ORDER

Chair Azman called the meeting of March 9, 2023 to order at 6:00 p.m.

Pursuant to Minnesota Statute 13D.021, the meeting was conducted with attendees and Commissioners participating both in the Community Room and via Zoom.

ROLL CALL

Present in the Community Room: Chair Dave Cremons, Commissioners Robert Ostlund, Joyce Yoshimura-Rank, Grover Sayre, Stig Hauge, City Administrator Kevin Kress, City Council Liaison Mark Azman

Present via electronic means: City Attorney Bridget Nason, City Engineer John Morast

Absent: Nick Sandell, Scott Wiens

A quorum was declared present.

PLEDGE OF ALLEGIANCE

Chair Cremons led the Pledge of Allegiance.

CITIZEN COMMENTS

None.

APPROVAL OF AGENDA

MOTION by Sayre, seconded by Yoshimura-Rank, to approve the agenda as is. Motion carried unanimously by roll-call vote.

APPROVAL OF PREVIOUS MONTH'S MINUTES

a. Approval of June 30, 2022 and August 25, 2022 Planning Commission Meeting Minutes

Chair Cremons noted one change in the August 25th, 2022 minutes to clarify that Joyce Yoshimura-Rank appeared electronically.

MOTION by Ostlund, seconded by Yoshimura-Rank, to approve June 30, 2022 minutes. Motion carried by 3-0 vote. Hauge and Sayre abstained due to not being part of Commission at the time.

MOTION by Yoshimura-Rank, seconded by Ostlund, to approve minutes with the change as noted. Motion carried by 3-0 vote. Hauge and Sayre abstained.

BUSINESS ACTION ITEMS

a. Public Hearing – Conditional Use Permit FOR A GARAGE IN EXCESS OF 1,500 SQUARE FEET LOCATED AT 70 WEST PLEASANT LAKE ROAD pursuant to City Code Section 151.050(D)(7). Existing home in which request is to add a 2-story attached garage. Discussion and possible action on application.

b. Chair Cremons called the public hearing to order at 6:06 p.m.

MOTION by Ostlund, seconded by Sayre, to open the public hearing at 6:06 p.m. Motion carried unanimously by roll call vote.

There was no one present in the room, or online wishing to comment on the application.

MOTION by Yoshimura-Rank, seconded by Sayre, to close the public hearing at 6:12 p.m. Motion carried unanimously by roll call vote.

- Engineer John Burbank presented the conditional use permit for a detached accessory garage structure on the site.
- The existing garage is 1,150 sq. feet, the proposed new garage is 1,152 for a total of 2,302 sq. feet total proposed.
- On pleasant lake on the channel between Charley and Pleasant Lake. The plans shows Rear elevation, and site plan. It will be in front of the current structure.
- Structure exceeds minimum requirement of 30 feet from roadway easement.
- The F.A.R. for the project is 12%, this application for garage, along with an unrelated new sunroom, would bring the F.A.R. to 11.57% which is under the 12% maximum.
- The architectural style is similar in design to existing structure.
- The options for City Council is to approval, deny, or extend application pending additional information.
- Hauge asked to confirm that it was compliant with code. Engineer Burbank stated it does meet code standards, it is only the size of the garage which requires review by Planning Commission.
- Yoshimura-Rank asked if septic system is something we need to look at to ensure they are not putting new structure on top of the backup septic location.
- Administrator Kress stated that Building official would be reviewing septic as part of permit review.
- Engineer Burbank suggested that a condition be added to approval that there are still ensure septic locations in the plans.
- Cremons asked that in future septic location be shown in future applications.
- Ostlund stated that carrying items upstairs can be difficult. Asked what protocols are in place to ensure not used as an accessory dwelling.

- Planner suggested could add a condition for periodic inspection to ensure it isn't used as accessory structure. Sayre noted that an ordinance is already in place to prohibit accessory structure to be used as dwelling. Building official as complete inspection is alert if he suspects used as dwelling.
- Cremons stated that it is a natural slope.
- 18.9% impervious shown on this application, City ordinance maximum is 25%.
- Staff concluded that the conditions have been met for a CUP and recommended approval.

MOTION by Hauge, seconded by Yoshimura-Rank, to recommend approval to City Council the CUP for 70 West Pleasant Lake Road, subject to conditions put forth by staff, as well as new condition to show 2 septic sites on the plan. Motion carried by 5-0 vote.

- Chair Cremons noted that the Planning Commission has made a recommendation for approval, and that the application will now go for final review to the City Council at their March 9, 2023 meeting.

c. Discussion on Planning Commission Meeting schedule

- Administrator Kress suggested Planning Commission possibly put a 2nd Planning Commission meeting on the schedule to address future application if needed.
- Wednesday, April 12th will be the next regular Planning Commission meeting.
- Starting in May, Planning Commission would be on the 25th. May 4th and 25th. Kress to bring a full schedule with proposed dates to the April meeting.
- Scott & Nick gone – Kress will share with proposed dates with them.

COMMISSIONER REPORTS

- Cremons stated would have a refresher training session with Attorney Nason for Planning Commission to review their responsibilities.
- Commissioner Sandell has been asked to be Vice-Chair. This will be on agenda for the April meeting.
- Red Forest Way Phase II could be on agenda for April meeting. North Oaks Company is working on it.
- Kress also mentioned the North Oaks Company is requesting a Comp Plan amendment to extend sewer to the Red Forest Way new development. A public hearing would be scheduled.
- Other items coming down the pipe: Phase 2 Condo's, a parcel on the Northern side, and agriculture that the Harpurs still own.
- Most of the new single-family residential lots in North Oaks have been sold. East Preserve in the Nord section is doing well and several new homes are up.
- The condo's have a single unit available for viewing. Spring Farm also has a model unit available for viewing.

NEXT MEETING

The next regular Planning Commission meeting will be Thursday, April 12th at 7:00 p.m.

ADJOURN

MOTION by Yoshimura-Rank, seconded by Sayre, to adjourn the meeting. Motion carried unanimously by roll call. Meeting ended at 6:39 p.m.

Kevin Kress, City Administrator

Dave Cremons, Chair

Date approved _____

PLANNING REPORT

TO: North Oaks Planning Commission

FROM: Kendra Lindahl, City Planner
Kevin Kress, City Administrator
Bridget McCauley Nason, City Attorney
Tim Korby and John Morast, City Engineers

DATE: April 12, 2023

RE: Comprehensive Plan Amendment to allow sanitary sewer and water for Red Forest Way South

Date Application Submitted	February 28, 2023
Date Application Determined Complete:	March 8, 2023
Planning Commission Meeting Date:	April 12, 2023
60-day Review Date:	May 7, 2023
City Council Meeting Date:	May 11 or 25, 2023 (tentative)
120-day Review Date:	July 6, 2023

BACKGROUND

North Oaks Company, LLC has requested approval of a Comprehensive Plan Amendment to expand the Metropolitan Urban Service Area (MUSA) to add the properties in Red Forest Way South Phase 2 and part of Red Forest Way South Phase 1 developments. This would modify Maps 1, 16, 17 and 18 in the 2040 Comprehensive Plan and allow some or all of these properties to connect to sanitary sewer and water. The areas proposed to be added to Maps 16, 17 are Tracts A through R of RLS 640. The areas proposed to be added to Maps 1 and 18 are Tracts A through R of RLS 640 and Tracts F and H of RLS 561.

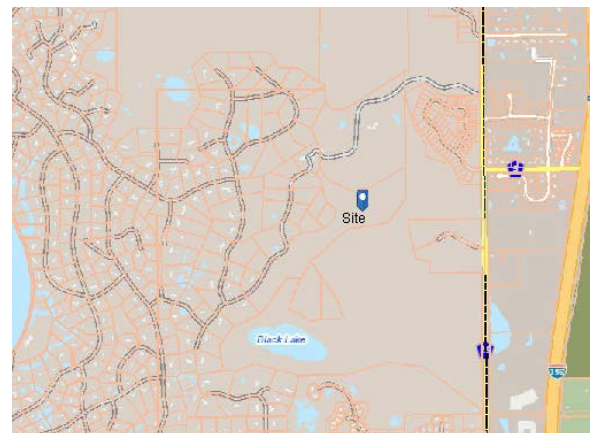


Figure 1 - Location Map

Staff finds that this amendment action would be consistent with the reference in Section H.3. (pg. 67) of the 2040 plan which states that *"For future developments in the East Oaks PUD area, the subdivider may utilize centralized sanitary sewer depending on sewer accessibility and sewer line capacities."*

The Comprehensive Plan notes that *"Many of the developments in the East Oaks PUD area are, or will be, served by private water systems that connect to the White Bear Township water system. A Joint Powers Agreement has been established between the City and the Township related to these services."*

Approval of the request would allow these lots to connect to the public sanitary sewer system. Denial of the request would require them to build an SSTS system and well on the lots if they are to construct a new home.

Attached for reference:

- Exhibit A: Location Map
- Exhibit B: PUD Update Map
- Exhibit C: Applicant Narrative and Exhibits received March 8, 2023
- Exhibit D: RLS 640 (Red Forest Way South phase 1)
- Exhibit E: Development Area "K3" (Red Forest Way South phase 2)
- Exhibit F: Proposed applicant revisions to Tables 12 -15 of Comprehensive Plan

PLANNING ANALYSIS

The application requests that these properties be added to the MUSA so that they can connect to sanitary sewer and water. Staff believes this modification would be consistent with the language in Section H (Wastewater - Policies) and Section K (Water System – Policies) of the 2040 Comprehensive Plan. These sections also identify cost responsibilities and steps necessary for expanding a sewer or water district.

The City Code states that Title 150.083 of the Code shall regulate procedures for amendments. During the research on this section of the code, staff determined that the adoption of an ordinance on October 9, 2019 inadvertently struck Title 150.083 and several other important governing regulations from the Code. The ability to amend a



Comprehensive Plan, a City's flagship guiding planning document is crucial to City governing and a City would need this ability. Staff has included this on a list of potential ordinance amendments to be considered by the Planning Commission at the April 12th meeting.

Absent an ordinance with specific standards for a Comprehensive Plan amendment, staff defers to MN statutes regarding amendments to the Comprehensive Plan. MN Statute §462.355, Subdivision 2 identifies a community's authority to amend a comprehensive plan. The text reads:

“The governing body may propose the comprehensive municipal plan and amendments to it by resolution submitted to the planning agency. Before adopting the comprehensive municipal plan or any section or amendment of the plan, the planning agency shall hold at least one public hearing thereon. A notice of the time, place and purpose of the hearing shall be published once in the official newspaper of the municipality at least ten days before the day of the hearing.”

The statute does not provide specific standards for the City to use when evaluating such amendments. The City Code in the Zoning Ordinance does not provide standards or factors for the City to consider when acting on a proposed amendment to the Comprehensive Plan or map. In deciding what action to take on such a request, the City has a high level of discretion.

To assist the Planning Commission in determining the effects of the proposed amendment, staff provides the following comments:

- The request is consistent with the Comprehensive Plan wastewater policies, which allow the use of centralized sanitary sewer in the East Oaks PUD if the service is accessible and has capacity. The property is able to connect to the sanitary sewer lift station at Island Field.
- Red Forest Way South includes a total of 33 parcels. The applicant has provided information to show that there is adequate capacity to serve these parcels; however, the initial installation is proposed for 21 lots (16 to be served by gravity and five by grinder

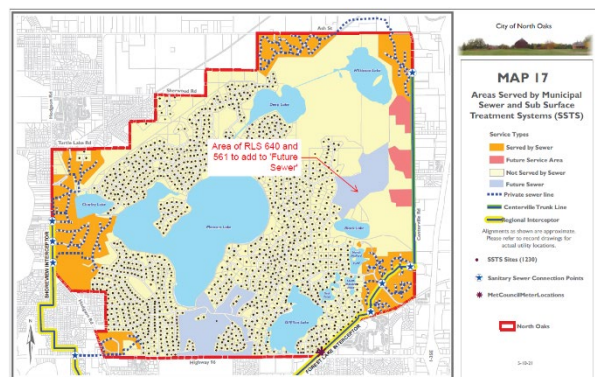


Figure 2 - Map 17 Amendment

pumps that will connect to the system). The applicant has provided information to show that an additional 12 parcels in Red Forest Way South phase 1 and Tract F of RLS 561 could potentially connect to sanitary sewer in the future.

- The existing surrounding land uses are residential to the north and west and open space to the south and east and would not be modified by the amendment request. The amendment would simply allow the properties to be serviced by public sanitary sewer rather than individual septic systems.
- The subdivision for Red Forest Way South phase 2 has been submitted for city review and is scheduled for Planning Commission review at the April 12th meeting. The plans show sanitary sewer and water service. If the Comprehensive Plan amendment is not approved, the plans would need to be revised to show individual septic systems and wells.
- The parcels in Red Forest Way South phase 1 have already been approved. A plan amendment would be required to reflect the change from individual well and septic to sanitary sewer and water for the affected lots. An amendment to the Phase 1 Developer's Agreement would also be necessary if water and sanitary sewer are to be constructed in Phase 1.
- The proposed amendment would enable the property owner to connect the site to public sanitary sewer which would occur underground and should not cause any of the described nuisances differently than constructing a private Subsurface Treatment Systems (SSTS) on the sites.
- Construction of the sanitary sewer and water connections shall be the responsibility of the developer, not the City.
- The applicant indicates that installation of the sanitary sewer and water will allow them to preserve trees that would otherwise be removed from these wooded lots to install the septic system.

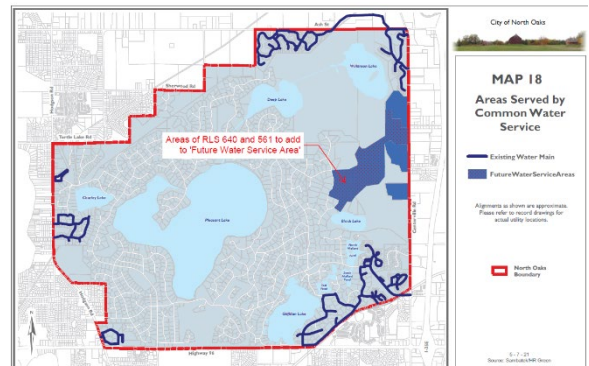


Figure 3 - Map 18 Amendment



p 651-792-7750
f 651-792-7751



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www.northoaksmn.gov



100 Village Center Drive, Suite 230
North Oaks, MN 55127





- White Bear Township provides water for Island Field and Gate Hill. The applicant proposes to connect to the watermain at Island Field to serve Red Forest Way South and connect to the Gate Hill water system to provide looping.
- The installation of the sanitary sewer and water as proposed would require an amendment to the Joint Powers Agreement with White Bear Township. The applicant indicates that they have contacted the township and believe they have support for the request. Ongoing maintenance would be the responsibility of the homeowners not the City.
- Approval from White Bear Township, the Minnesota Department of Health and the MPCA (Minnesota Pollution Control Agency) would be required prior to final approval to allow sanitary sewer and water.

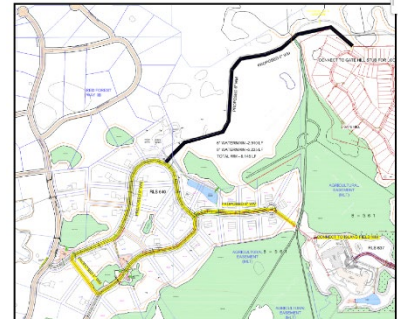


Figure 4 - Proposed Watermain Route

Adjacent Review

A public hearing notice was published in the official newspaper and mailed to landowners with 350 feet of the property.

Additionally, all comprehensive plan amendments must be sent to adjacent cities, school districts, park districts and watershed districts. Notice was sent to the cities of Shoreview, Vadnais Heights, White Bear Lake, White Bear Township and Lino Lake, White Bear Lake School District, Ramsey County, Ramsey County Parks and Vadnais Lakes Area Watershed Management Organization (VLAWMO). These jurisdictions have until May 29th to provide comments. At the time of this report, Ramsey County Parks and the cities of Shoreview, Vadnais Height and Lino Lakes have responded that they have not comments.

STAFF RECOMMENDATION

The Planning Commission should hold a public hearing, take public testimony and make a recommendation to the City Council.

PLANNING COMMISSION OPTIONS

In consideration of the Comprehensive Plan amendments, the Planning Commission has the following options:



p 651-792-7750
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100 Village Center Drive, Suite 230
North Oaks, MN 55127

A) Recommend approval

The Planning Commission could approve the request to for an amendment to the 2040 Comprehensive Plan that would modify Maps 1, 16, 17 and 18 and Tables 12-15 of the plan to bring the subject parcels into the Metropolitan Urban Service Area (MUSA) and allow them to be served by sanitary sewer and water.

This option should be utilized if the Planning Commission finds the proposal adheres to all City Code requirements or will do so with the following findings and conditions:

1. The Comprehensive Plan anticipated the potential connection with the statement that “For future developments in the East Oaks PUD area, the subdivider may utilize centralized sanitary sewer depending on sewer accessibility and sewer line capacities.”
2. Allowing the applicant to connect to sanitary sewer will result in less tree removal than construction of a septic system on the subject lots.
3. All costs related to the construction of the sanitary sewer and water connections would be borne by the applicant.
4. The homeowners shall be responsible for maintenance of the sanitary sewer system (including individual grinder pumps) in perpetuity.
5. The homeowners shall be responsible for maintenance of the water system in perpetuity.
6. The applicant must work with the City of North Oaks and White Bear Township to modify the Joint Powers Agreement prior to recording the subdivision.
7. The applicant must obtain permits from the MPCA and Minnesota Department of Health prior to beginning work.

Approval means that, upon City Council approval, the applicant can connect the property to sanitary sewer, subject to the satisfaction of all imposed conditions.



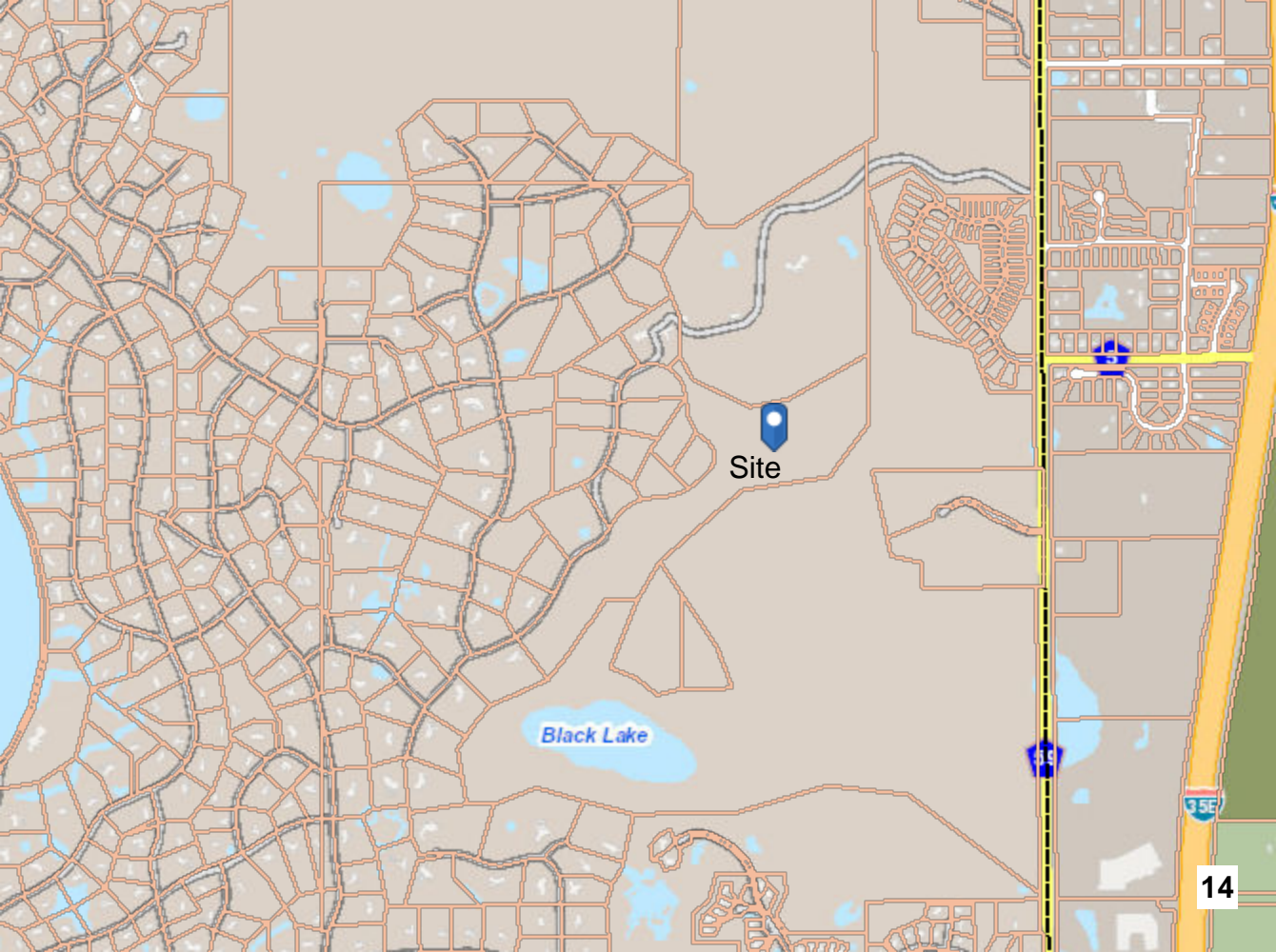
B) Recommend denial of the amendment request

Based on the applicant's submission, the contents of the City Staff report, received public testimony and other evidence available to the Planning Commission. Denial would require the applicant to install an SSTS system and well to serve the lot. The Planning Commission should provide findings of fact for denial.

C) Table the item and request additional information

If the Planning Commission finds that additional information is required to make a recommendation, they should request the necessary information and table the item to the next Planning Commission meeting.

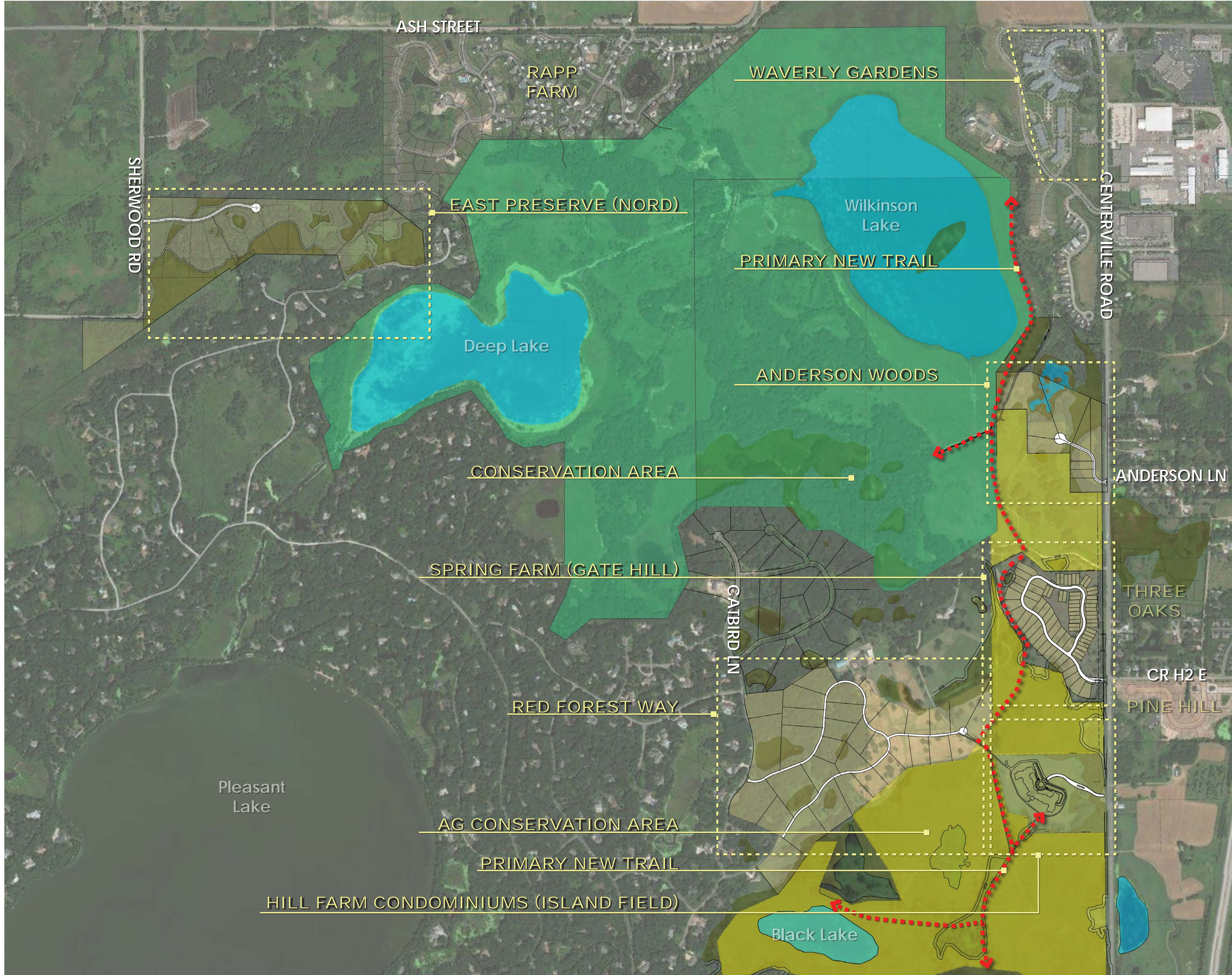
cc: Roberta Colotti, NOHOA



Site

Black Lake

35E



LEGEND

- RESIDENTIAL LOT 
- CONSERVATION AREA 
- AG CONSERVATION AREA 
- WETLAND 
- POND 

Introduction

North Oaks Company, LLC is requesting modifications to Tables 12, 13, 14 and 15 of Chapter 3 and amendments to Maps 1, 16, 17 and 18 of the North Oaks 2040 Comprehensive Plan. The modifications to these tables and maps would allow, but not require the installation of sanitary sewer and water system changes proposed. The amendment would add additional area to the Emerging Suburban Edge (Map 1), Future Sewer Area (Map 16), Future Service Area (Map 17), and Future Water Service Areas (Map 18). The areas proposed to be added to Maps 16, 17 are Tracts A through R of RLS 640. Maps 1 and 18 areas proposed to be added area Tracts A through R of RLS 640 and Tracts F and H of RLS 561. Revisions proposed to the Maps are included in Appendix A, Exhibits 1 through 4.

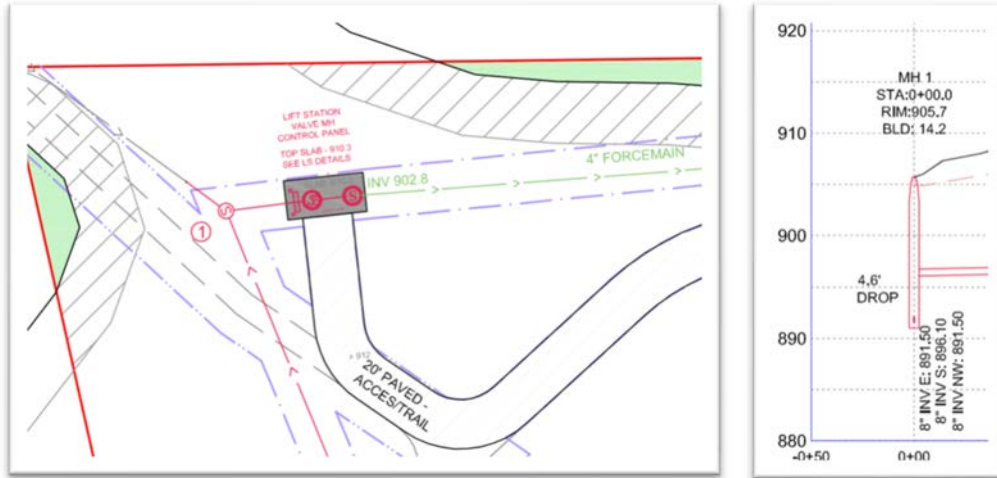
Properties adjacent to the proposed map change locations are zoned Residential Single-Family Low Density (RSL) to the north and west and recreation/open space to the east and south. There will not be any impacts to adjacent properties. Ultimately installing sanitary sewer and water within Red Forest Way South will bring a sanitary sewer and water connection point closer to the adjacent residential properties to the north and west.

Sanitary Sewer

The current Red Forest Way South Phase 1 and future Red Forest Way South Phase 2 developments (a portion of Neighborhood 20 as depicted on Map 3 of the 2040 Comprehensive Plan Appendix A) have the ability to connect to sanitary sewer located at the Island Field (Area 21 on Map 3 of the 2040 Comprehensive Plan Appendix A) lift station. This development offers a new opportunity for sewer to be extended further into North Oaks. Per the 2040 Comprehensive Plan Chapter 3, Section H. Wastewater – Policies, Item 3: “For future developments in the East Oaks PUD area, the subdivider may utilize centralized sanitary sewer depending on sewer accessibility and sewer line capabilities.” (page 67) Red Forest Way South, previously known as Site K – North Black Lake, is part of the East Oaks PDA.

The lift station constructed with the Island Field project was designed to convey the flows from 107 units (residential and condominiums) using the Minnesota Pollution Control (MPCA) Ten States Standards. Design average annual flow was based on utilizing 274 gallons per day (gpd) per residential unit and the condominium units were based on an estimate of having 80% of the residential unit’s flow. The average annual flow calculates to 18 gallons per minute (gpm). A peak factor of 4 was used for wet weather design flow for use in the Ten States Standards formula resulting in a peak design flow of 70 gpm. The forcemain from the lift station is a 4” C900 PVC (DR25) that connects to the Centerville Trunk Line located on the east side of Centerville Road. The Island Field – Red Forest Way (South) Lift Station Preliminary Design Report completed by AE₂S in March 16, 2021 is included with this application in Appendix B. Scenario #2 is ultimately what the lift station was designed to convey.

The existing infrastructure was installed in order to allow future connection from Red Forest Way South. Manhole 1 at Island Field was installed with an 8” stub to the northwest at an elevation of 891.50. The depth of this invert would allow the majority of the lots in Red Forest Way South project to connect to the lift station through gravity flow, several lots may need to connect with a pressure system (grinder pump). The images below show the location of Manhole 1 and the existing inverts within the manhole.



Images from Revision 05 of sheet 5D of 8 of Final Plat/Sanitary Sewer & Watermain Plan for Island Field dated 9/30/21.

Red Forest Way South in total proposes 33 residential units. Preliminary installation of sewer is proposed to service a portion of the 1st and 2nd Phases of Red Forest Way South with the remainder having the ability to connect at a later date. Easements are in place on lots that would allow sewer to be connected at a later date. A total of approximately 16 lots will be served by gravity sewer and 5 lots will be served by grinder pumps connected to the system with the preliminary sewer installation. A total of 12 additional residential lots in Red Forest Way South Phase 1 and the two homes located on Tract F of RLS 561 would have the ability to connect to the sanitary sewer system given the design capacity of the lift station after the preliminary sanitary sewer installation.

Installing a modern sanitary sewer system would eliminate the need to remove trees from one (1) or two (2) 5,000 square foot (sf) areas for a septic system. Typically, on the wooded lots within North Oaks the trees would have to be cleared for house construction and in addition the septic system. The wooded lots are currently design to accommodate a 5,000 sf area for septic systems along with a second 5,000 sf area for a future septic system after the first system has reached the end of life.

The image below represents how these septic areas are shown on the wooded lots along with the proposed house location. Lot 4 as presented in the image below is Tract D of RLS 640. The orange area is wooded and trees for the construction of the home would need to be removed from one of the septic areas along with the area around the proposed house for construction. By connecting to the proposed sanitary sewer system over 5,000 sf of trees would be preserved with the initial construction of the home and the additional 5,000 sf in the future for when that septic system would have to be replaced. It is proposed to connect this Tract D to the sanitary sewer system with a pressure system (grinder pump).

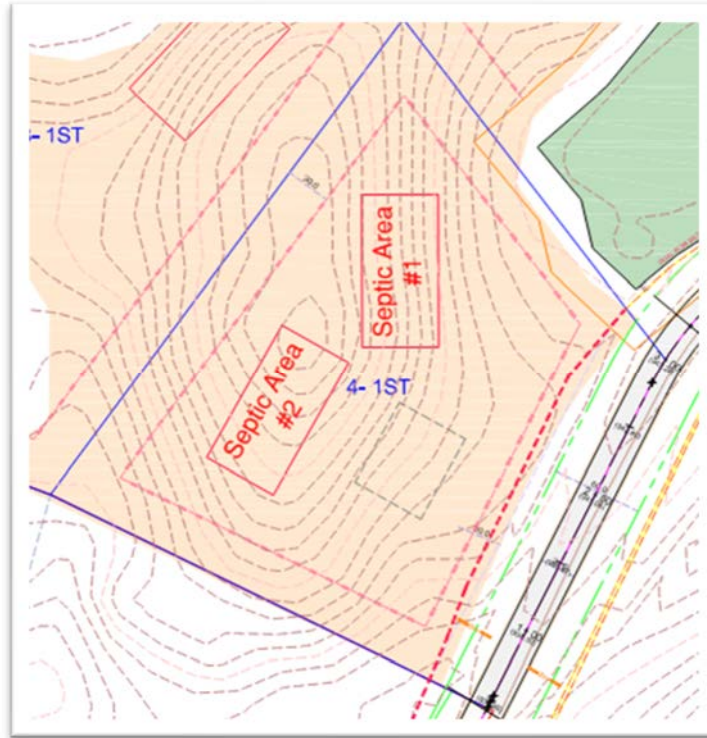


Image of Tract D of RLS 640 representing areas of septic system locations.

Water System

Currently White Bear Township supplies water to Island Field (Area 21 on Map 3 of the 2040 Comprehensive Plan Appendix A) and Gate Hill (Area 19 on Map 3 of the 2040 Comprehensive Plan Appendix A) developments located directly to the east of Red Forest Way South (portion of Area 20 on Map 3 of the 2040 Comprehensive Plan Appendix A). Island Field is looped to the site with two (2) 8" watermains located under the entrance to Island Field and connect to a 16" ductile iron watermain located on the east side of Centerville Road. There is an 8" stub installed to service future development. The image below shows how the water is installed at Island Field.



Image of watermain installation at Island Field (Area 21 on Map 3 of the 2040 Comprehensive Plan Appendix A)

Water is proposed to connect to the existing northern 8" water stub at Island Field and continue through the Red Forest Way South site. Exhibit 6 of Appendix A outlines the proposed route through Red Forest Way South and loops through Tract F of RLS 561 and connecting to the Gate Hill water system.

Watermain at Gate Hill is 8" diameter and loops under Spring Farm Road and connects to the White Bear Township 16" watermain east of Centerville Road at the entrance near County Road H2 and north of Mehegan Lane. Connection to the Gate Hill water system is possible with a 6" pipe in order to serve Tract F of RLS 561.

By installing a water system in Red Forest Way South wells will be eliminated from these future lots, which may reduce the draw from the Prairie du Chien aquifer that already has well restrictions in place for uses other than residential. The water system would include fire hydrants for fire protection within Red Forest Way South and afford the Lake Johann Fire Department a connection for water for emergencies further west within interior North Oaks.

Joint Powers Amendment

The installation and operations of the requested sewer and water system would require the City to amend the existing Joint Powers Agreement (JPA) with White Bear Township. North Oaks Company has started this conversation with White Bear Township and plans to have a meeting with the Township once there are more detailed engineering plans available. Initial conversations with White Bear Township indicate White Bear Township is willing and able to extend municipal water and sanitary sewer services to Red Forest Way South.

Appendix A

Exhibit 1

Map 1: Metropolitan Council Community Designation of Appendix A 2040 Comprehensive Plan Proposed Revisions

Exhibit 2

Map 16: 2017 North Oaks Neighborhood with Common Utilities Appendix A 2040 Comprehensive Plan Proposed Revisions

Exhibit 3

Map 17: Areas Served by Municipal Sewer and Sub Surface Treatment Systems (SSTS) Appendix A 2040 Comprehensive Plan Proposed Revisions

Exhibit 4

Map 18: Areas Served by Common Water Service Appendix A 2040 Comprehensive Plan Proposed Revisions

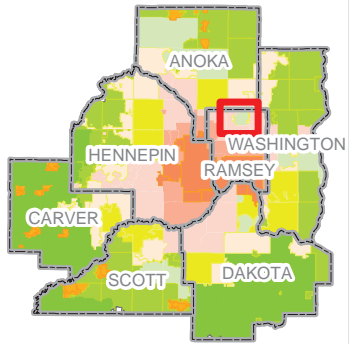
Exhibit 5

Proposed Routing of Gravity Sanitary Sewer through RLS 640 from RLS 637

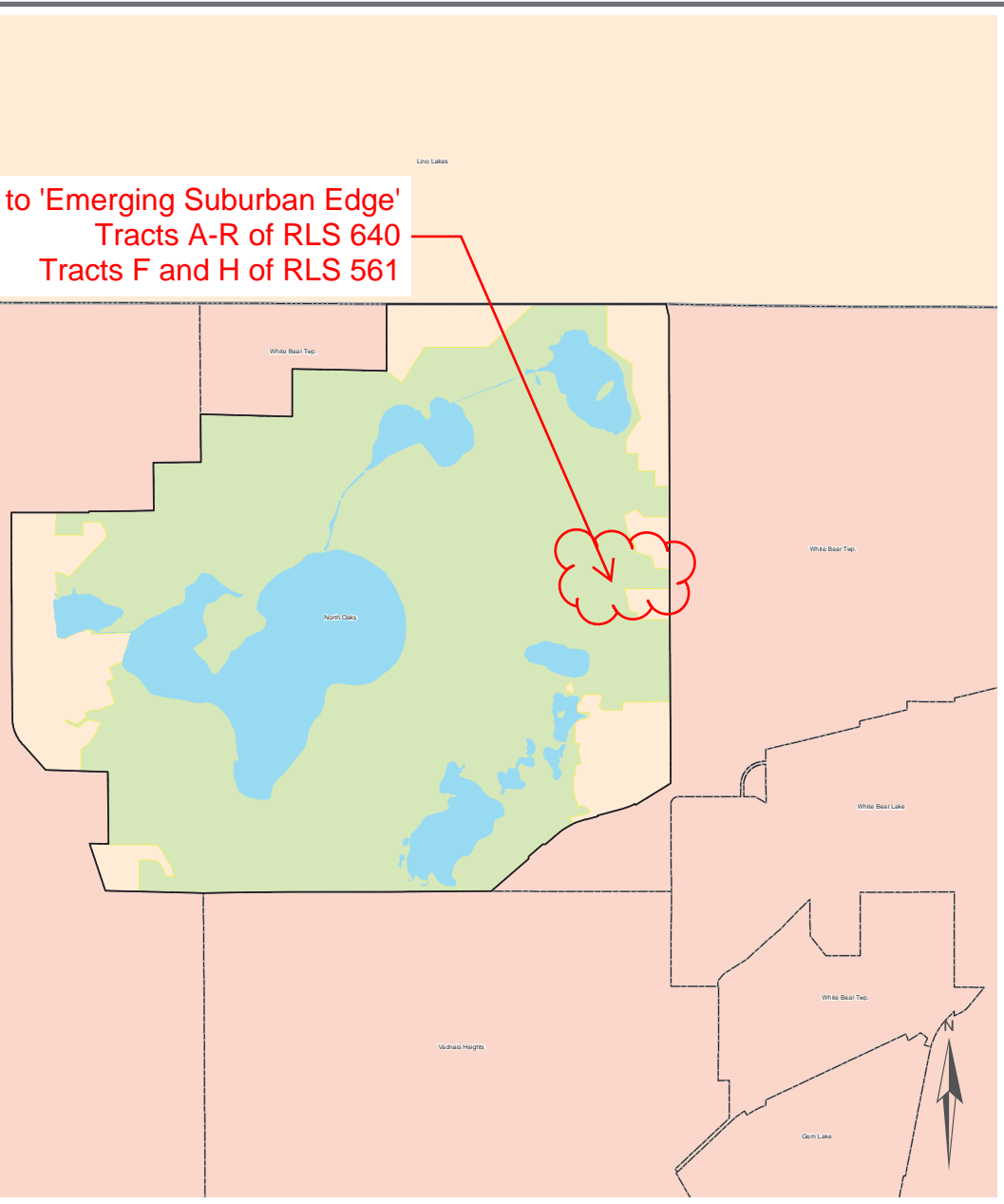
Exhibit 6

Proposed Routing of Watermain through RLS 561, 637 and 640

Metropolitan Area



Add to 'Emerging Suburban Edge'
 Tracts A-R of RLS 640
 Tracts F and H of RLS 561



City of North Oaks



MAP I
Metropolitan Council
Community
Designations

- North Oaks
- County Boundaries
- City and Township Boundaries

- Community Designations**
- Outside Council Planning Authority
 - Agricultural
 - Rural Residential
 - Diversified Rural
 - Rural Center
 - Emerging Suburban Edge
 - Suburban Edge
 - Suburban
 - Urban
 - Urban Center

10-31-2019
 Source: Met Council
 S A M B A T E K / HR Green



MAP 16

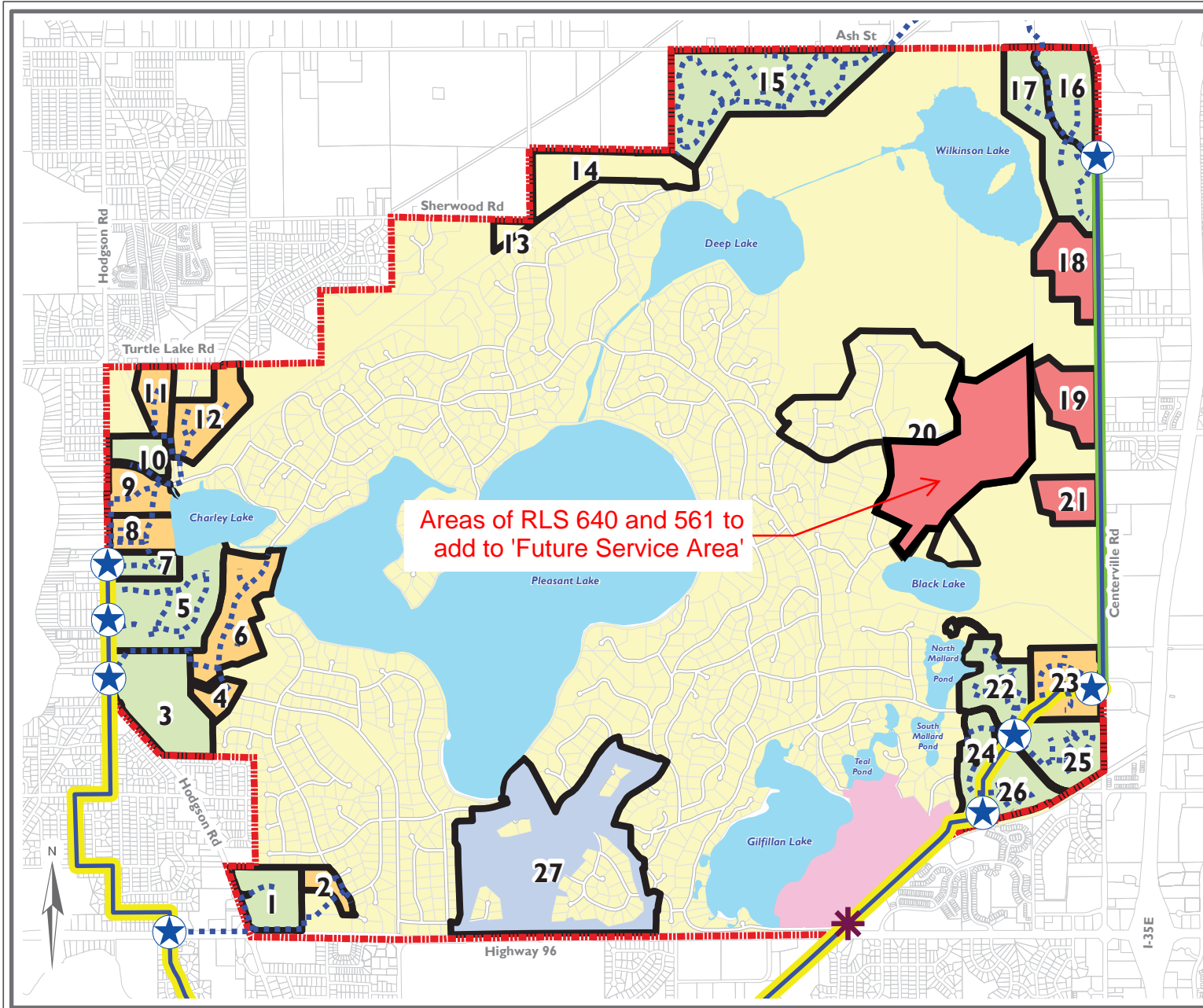
2017 North Oaks Neighborhoods with Common Utilities

- | | |
|-------------------------------|------------------------------|
| 1) Village Center | 13) East Preserve |
| 2) Southpointe | 14) Nord |
| 3) Institutional District | 15) Rapp Farm |
| 4) Capaul Woods | 16) Waverly Gardens |
| 5) Charley Lake Preserve | 17) Villas of Wilkinson Lake |
| 6) West Pleasant Lake | 18) Anderson Woods |
| 7) Red Pine Farm | 19) Gate Hill |
| 8) Lake Estates | 20) Red Forest |
| 9) South Wildflower | 21) Island Field |
| 10) Charley Lake Condominiums | 22) The Pines |
| 11) Creekside | 23) Deer Hills |
| 12) Peterson Place | 24) Ski Hill |
| | 25) South East Pines |
| | 26) Summits |
| | 27) North Oaks Golf Course |

- Sanitary Sewer Connection Points
- Met Council Meter Locations
- Centerville Trunk Line
- Private sewer line
- Regional Interceptor
- North Oaks Boundary

- Service Types**
- Future Service Area
 - Sewer Only
 - Sewer and Water
 - Water Only
 - Not served by common utilities
 - Future Sewer

5 - 10 - 21
Source: Sambatek/HR Green





MAP 17

Areas Served by Municipal Sewer and Sub Surface Treatment Systems (SSTS)

Service Types

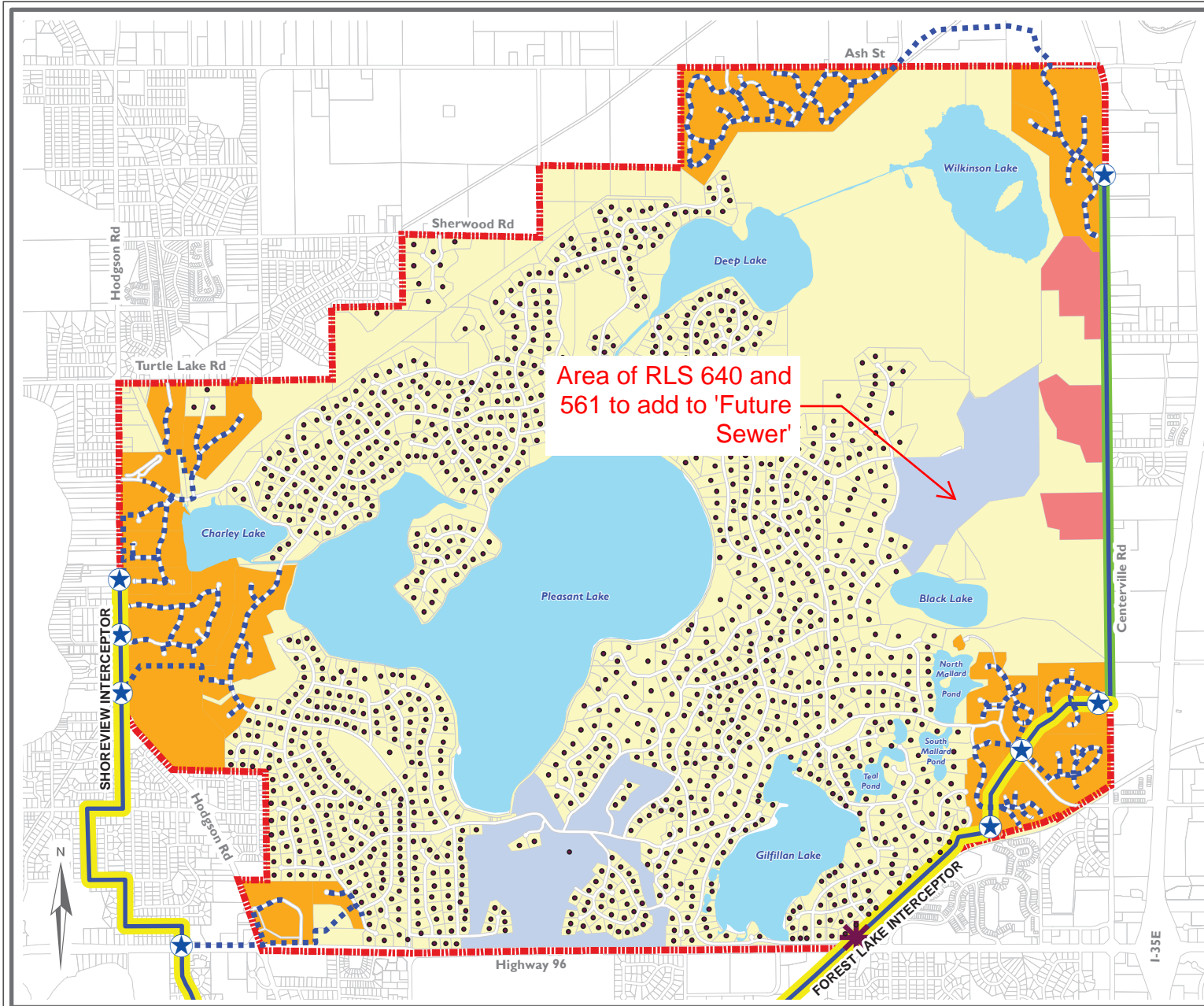
- Served by Sewer
- Future Service Area
- Not Served by Sewer
- Future Sewer
- Private sewer line
- Centerville Trunk Line
- Regional Interceptor

Alignments as shown are approximate. Please refer to record drawings for actual utility locations.

- SSTS Sites (1230)
- Sanitary Sewer Connection Points
- MetCouncilMeterLocations





5-10-21





MAP 18

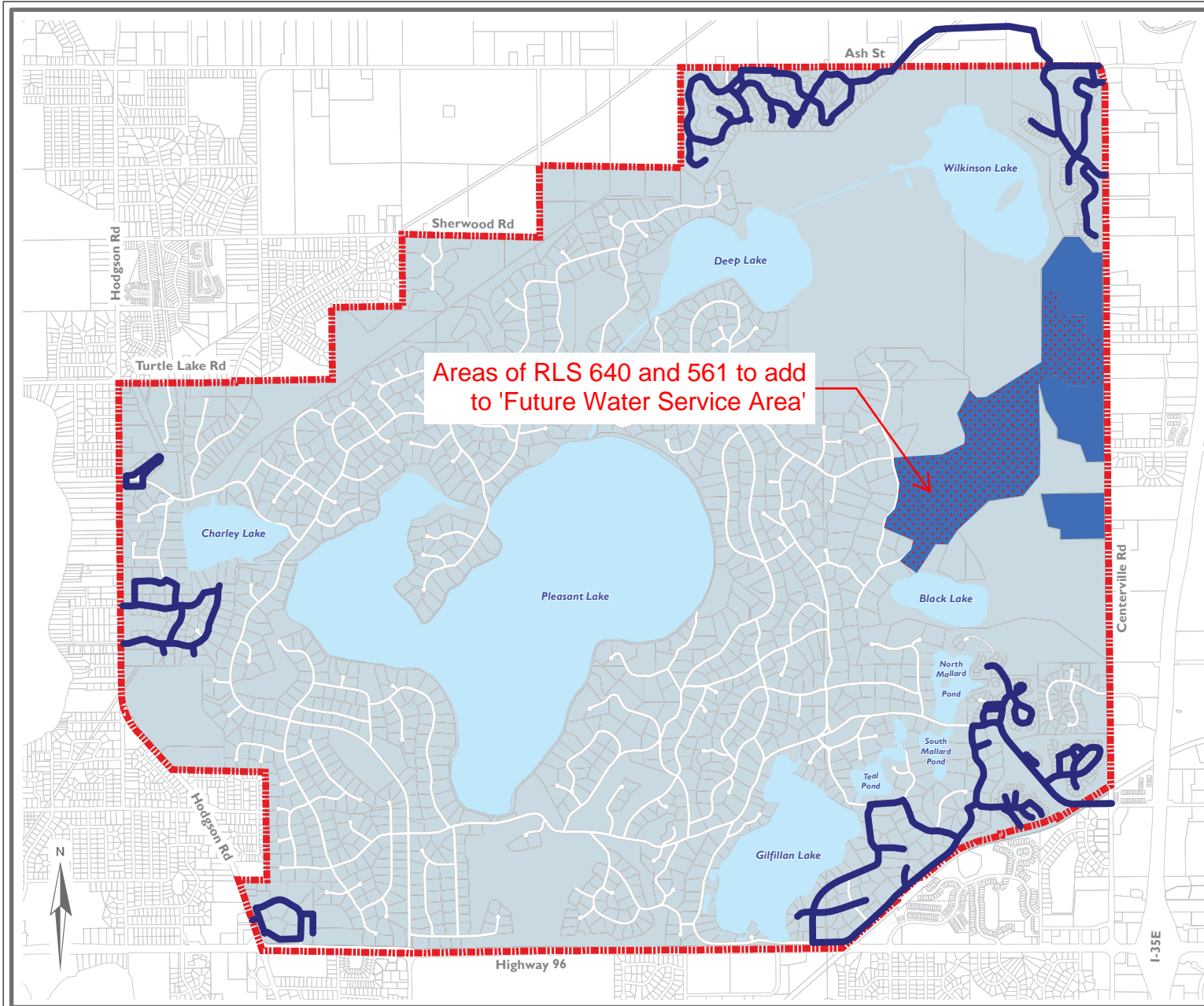
Areas Served by Common Water Service

-  Existing Water Main
-  Future Water Service Areas

Alignments as shown are approximate. Please refer to record drawings for actual utility locations.

-  North Oaks Boundary

5 - 7 - 21
Source: Sambatek/HR Green



Areas of RLS 640 and 561 to add to 'Future Water Service Area'

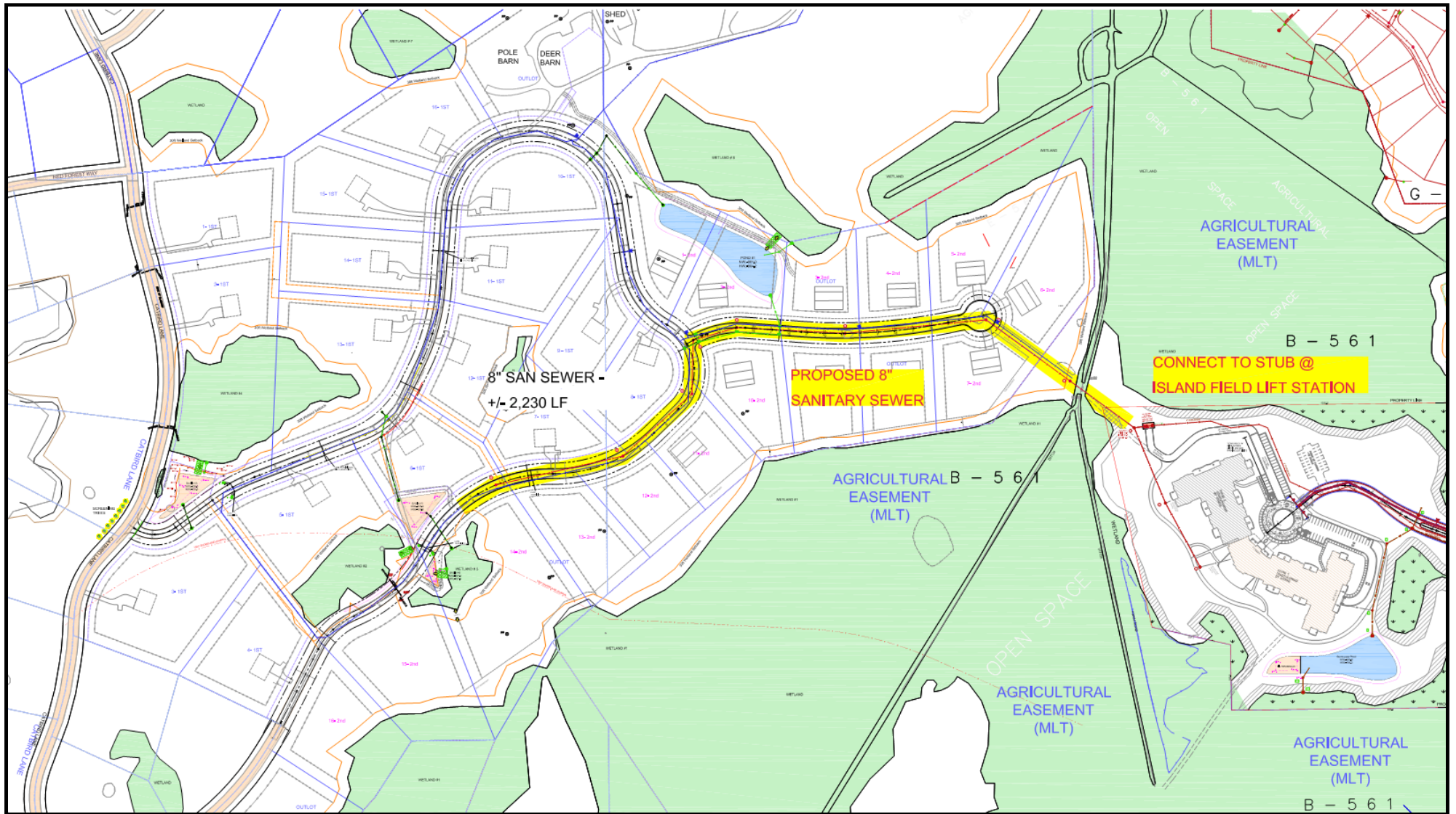


Exhibit 5

Proposed Route of Gravity Sanitary Sewer through RLS 640 from RLS 637

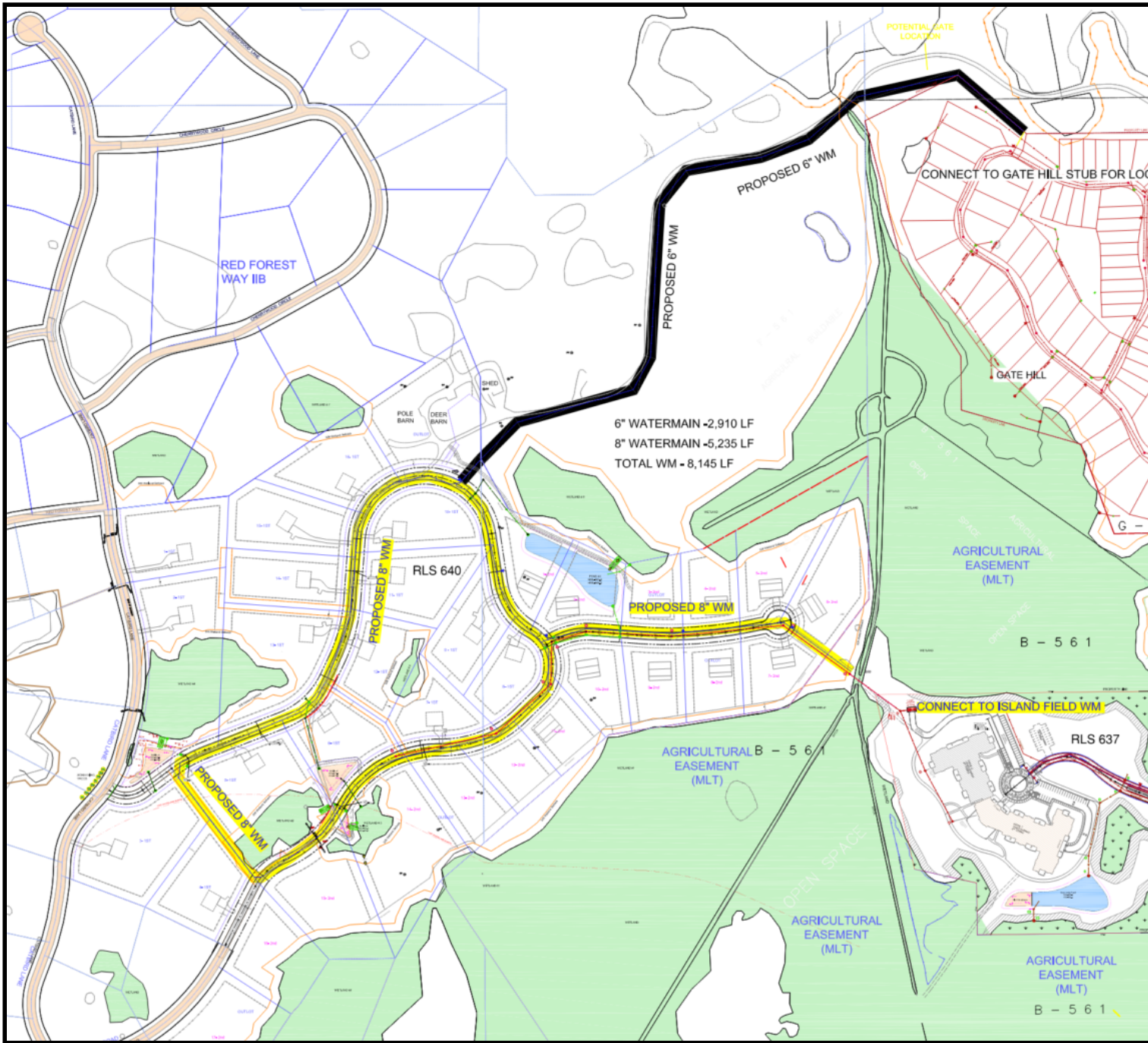


Exhibit 6

Proposed Route of Watermain through RLS 561, 637 and 640

Appendix B

Island Field – Red Forest Way (South) Lift Station Preliminary Design Report

AE₂S

March 16, 2021

Island Field- Red Forest Way (south) Lift Station Preliminary Design Report



North Oaks, Minnesota

March 16, 2021

I. Introduction

A. General

The Island Field development requires a lift station to serve approximately 37 condo units and 37,800 sf of commercial area or 74 condo units and no commercial areas. In addition, the lift station needs the ability to serve up to 33 residential units (single family) from Red Forest Way. The two different flow scenarios are summarized below.

Flow Scenario #1:

37 Condo Units
37,800 s.f. of Commercial
33 Residential units (single family) from Red Forest Way

Flow Scenario #2:

74 Condo Units
No commercial
33 residential units (single family) from Red Forest Way

The Minnesota Pollution Control Agency (MPCA) utilizes Ten States Standards as a guideline for the process design of lift stations. The lift stations are also required to meet the National Fire Protection Association (NFPA) Code 820, which governs the electrical classification and ventilation requirements for these types of structures. The City of North Oaks lift station standards will be followed.

B. Scope of Improvements

The general scope for the lift station is as follows:

- Process
 - Two (2) submersible pumps
 - 4-inch discharge elbows, DIP piping, check valves, and isolation valves
 - Connection to PVC forcemain
 - Approximately 1500 ft of 4-inch C900 PVC forcemain
 - Air Release Manhole Recommended at Forcemain High Point approximately 500 ft from Valve Vault
 - Valve vault drain piping
- Structural
 - 7' diameter precast concrete wet well
 - Top Slab Elev: +/- 910.30
 - Bottom (TOC) Elev: +/- 884.00
 - 7' diameter precast concrete valve vault
 - Top Slab Elev: +/- 910.30
 - Bottom Elev: +/- 899.80

- Access hatches for wet well and valve vault
- Electrical/I&C
 - New lift station control panel which houses all electrical power and control equipment required for lift station operation.
 - Variable frequency drives, for the pumps, housed in a control panel
 - Submersible level transducer with float backup for level control
 - Receptacle for standby power
 - Electrical grounding system
 - Utility electrical secondary service for lift station

II. Design Flow Analysis

A. Design Flows

The design average annual flow will be based upon utilizing 274 gallons per day per residential unit and 800 gallons per gross acre per day for commercial areas. Condo units are estimated to generate 80% of a residential unit’s flow. The gross commercial area has been estimated at 3 times the building area. To calculate the peak hour wet weather design flow, a peak hour flow factor will be established using the formula in Ten States Standards.

Flow Scenario #1	Units or gross sf	Average Annual Flow (GPD)	Average Annual Flow (GPM)	Peak Flow Factor	Peak Design Flow (GPM)
Condo Units	37	8,110	5.6	4	22
Residential Units (single family) Red Forest Way	33	9,042	6.3	4	25
37,800 sf Commercial	113,400	2,083	1.4	4	6
Total		19,235	13	4	53

Flow Scenario #2		Average Annual Flow (GPD)	Average Annual Flow (GPM)	Peak Flow Factor	Peak Design Flow (GPM)
Condo Units	74	16,221	11.3	4	45
Residential Units (single family) Red Forest Way	33	9,042	6.3	4	25
No Commercial		0	0	4	0
Total		25,263	18	4	70

B. Forcemain

Typical forcemain sizing is based upon maintaining a minimum velocity of two (2) ft/s and a maximum velocity of five (5) ft/s if possible. Often it is challenging to meet the full range of current and future design flows. Velocities higher than five (5) ft/s can be considered for peak flows due to the short durations, however, the frictional forcemain headloss implications need to be considered. Based upon a minimum forcemain size of four (4)-inches the recommended minimum flow to maintain two (2) ft/s is approximately 100 gallons per minute (gpm). The anticipated flow is 53 to 70 gpm. Therefore, pumps have been designed for 100 gpm to maintain 2 fps in the forcemain. The wet well has been designed to hold sufficient capacity so that pumps do not start more than 6 times an hour during peak demand. A four (4)-inch C900 PVC pipe (DR25) forcemain has been assumed for design purposes.

C. Hydraulic Calculations

The basis for the pumping hydraulics includes the static head plus the frictional losses in the individual pump discharge piping and forcemain. To calculate the overall system envelop for pumping conditions the range for minimum and maximum static head will be utilized along with a range of friction coefficients for frictional piping losses.

1. Static Head

The static head for lift station can be calculated by taking the high point in the forcemain and subtracting the operating levels in the wetwell. The operating range in the wetwell will provide the range in static head utilized to determine the overall for system conditions.

Forcemain High Point Elevation	Minimum Wetwell Level Elevation	Maximum Wetwell Level Elevation	Minimum Static Head (FT)	Maximum Static Head (FT)
912.50	885	891.20	21.3	27.5

2. Friction Head

The friction losses in the discharge piping and the forcemains will vary depending upon the roughness coefficient (C-factor) of the piping. A C-factor of 100 (assumes old/rough pipe) will be utilized to establish the worst case conditions and a C-factor of 140 (new pipe) will be utilized for best case conditions. The range of C-factors helps establish the overall envelop for system conditions.

3. Total Dynamic Head

The total dynamic head (TDH) is the static head plus the friction losses in the piping. The TDH is used to select and size the lift station pumps. The following table is a summary of the TDH for minimum and maximum conditions of the overall system envelope at the peak hour design flows.

Condition	Peak Hour Design Flow (GPM)	Pump Design Flow (GPM)	Minimum TDH – Wetwell Elev: 891.20, C = 140 (FT)	Maximum TDH – Wetwell Elev: 885.00, C = 100 (FT)
Flow Scenario #1	53	100	24	32
Flow Scenario #2	70	100	24	32

III. Pumping System

A. Pump Selection

According to the White Bear Township Public Works Director, Dale Reed, the preferred pump is manufactured by KSB. Based upon the above design conditions a pump selection was provided by Quality Flow Systems, Inc. The pump selection is a 3.5 horsepower (hp) submersible pump that will meet either design scenario.

The following graph show the pump curve and system design points.

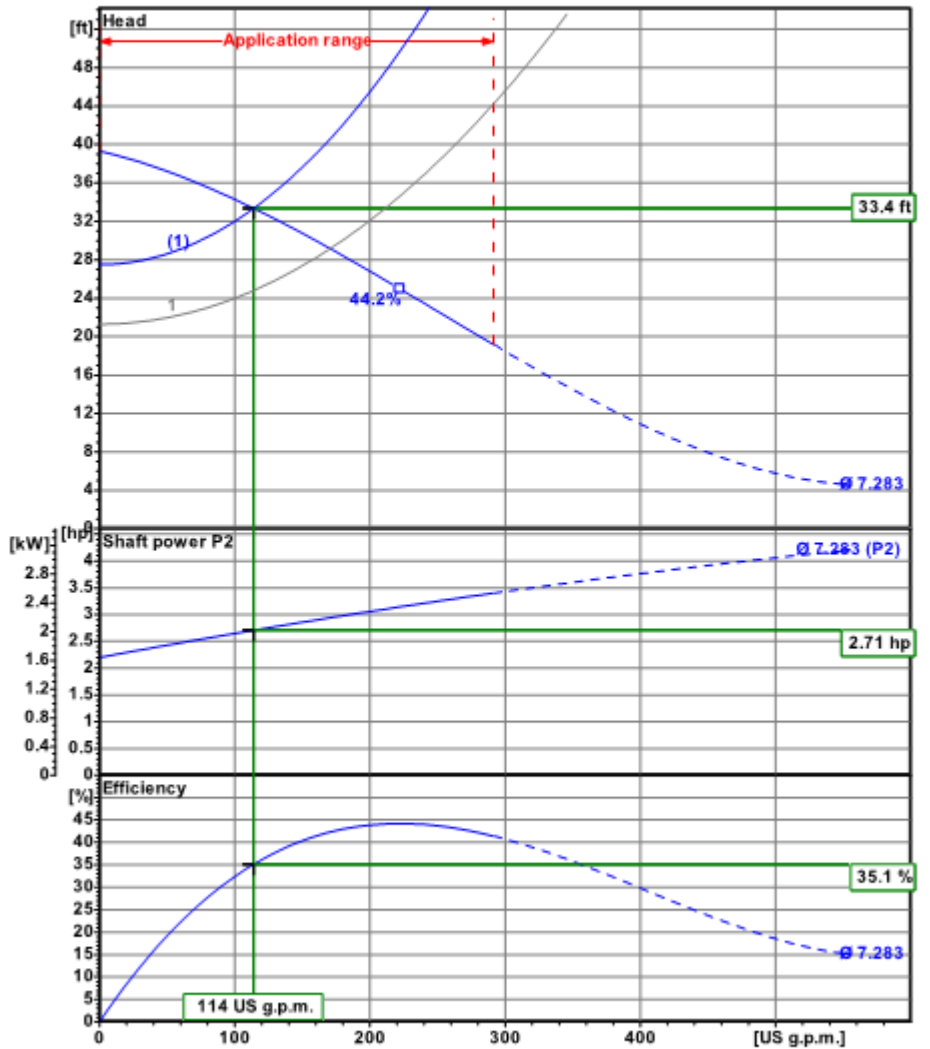
Project
 Customer pos.no
 Project ID
 Pos.no 1
 Created by



Page 3 / 5
 2021-03-16

Performance curve

Pump type **KRT F 80-200/24XG-S**



Impeller type	Vortex	Open	Density	62.322 lb/ft ³	Curve number	K41651
Free passage	3 ¹ / ₁₆ "		Viscosity	1.082E-5 ft ² /s	Frequency	60 Hz
Impeller size	7 ⁵ / ₁₆ "	(185)			Speed	1750 1/min

KSB Inc., Richmond, VA / KSB Pumps Inc., Mississauga, Ontario / KSB AG, Halle (Germany)

IV. Electrical

A. NFPA 820 Requirements

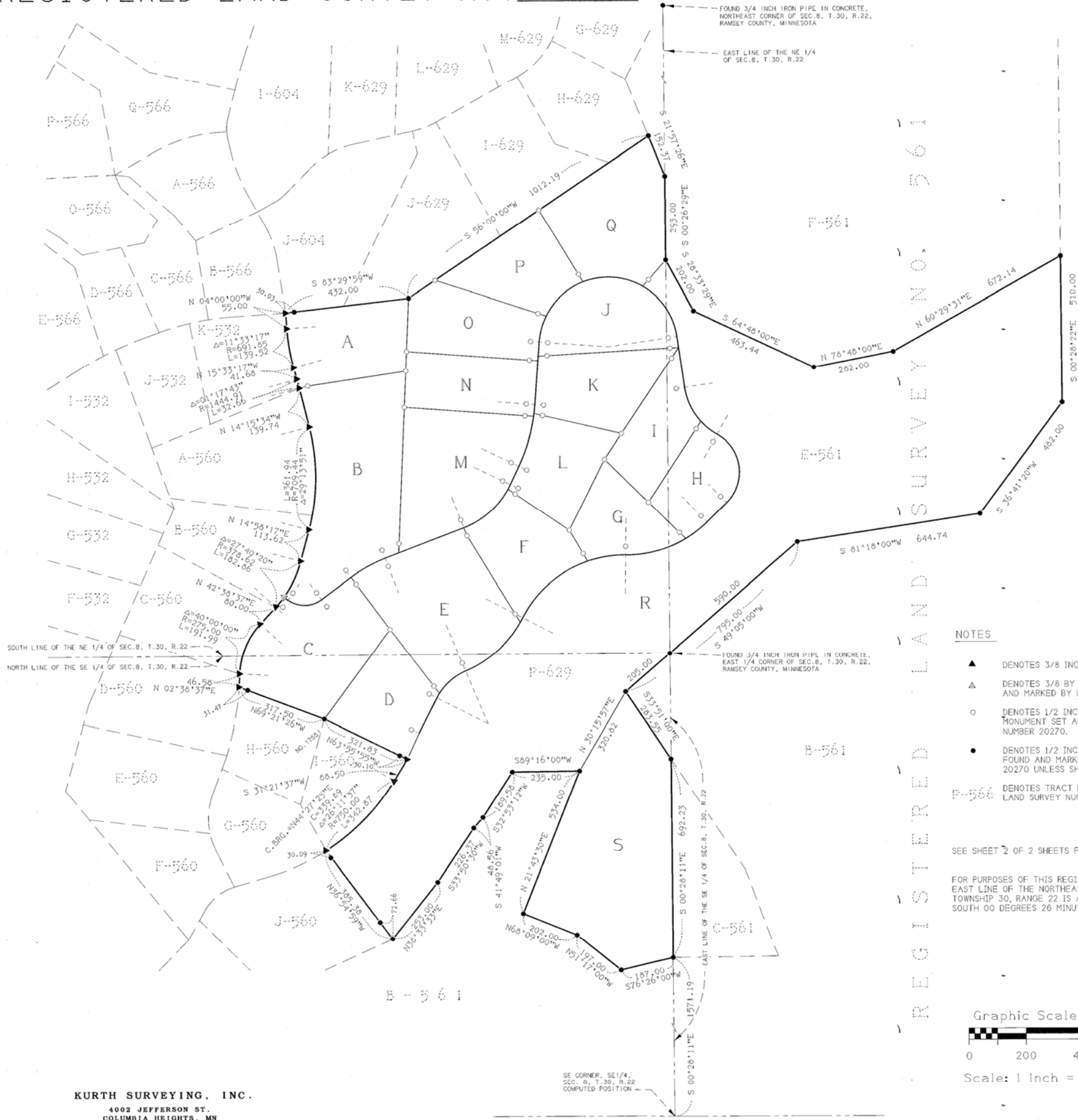
The valve vault and wet well spaces need to meet the requirements of NFPA 820 and are considered rated spaces if not continuously ventilated appropriately.

B. Electrical Design

A new control panel will be provided with a submersible level transducer and backup float system for level control. A receptacle will be provided on the panel for hookup of a portable standby power generator. The controls will be designed in accordance with the City of North Oaks lift station standards. The pumps will require 480 volt, 3 phase power. If 480 volt, 3 phase power is not available at the site it is recommended that variable frequency drives be utilized to convert the power to 3 phase.

REGISTERED LAND SURVEY NO. 640

7701



REGISTERED LAND SURVEY NO. 561

FOUND 3/4 INCH IRON PIPE IN CONCRETE,
NORTHEAST CORNER OF SEC. 8, T.30, R.22,
RAMSEY COUNTY, MINNESOTA

EAST LINE OF THE NE 1/4
OF SEC. 8, T.30, R.22

FOUND 3/4 INCH IRON PIPE IN CONCRETE,
EAST 1/4 CORNER OF SEC. 8, T.30, R.22,
RAMSEY COUNTY, MINNESOTA

SE CORNER, SE 1/4,
SEC. 8, T.30, R.22
COMPUTED POSITION

NOTES

- ▲ DENOTES 3/8 INCH REBAR FOUND IN BITUMINOUS
- △ DENOTES 3/8 BY 6 INCH REBAR SET IN BITUMINOUS AND MARKED BY LICENSE NUMBER 20270
- DENOTES 1/2 INCH BY 14 INCH IRON PIPE MONUMENT SET AND MARKED WITH LICENSE NUMBER 20270.
- DENOTES 1/2 INCH IRON PIPE MONUMENT FOUND AND MARKED WITH LICENSE NUMBER 20270 UNLESS SHOWN OTHERWISE.
- P-566 DENOTES TRACT LETTER AND REGISTERED LAND SURVEY NUMBER

SEE SHEET 2 OF 2 SHEETS FOR TRACTS A THROUGH R

FOR PURPOSES OF THIS REGISTERED LAND SURVEY THE EAST LINE OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 30, RANGE 22 IS ASSUMED TO BEAR SOUTH 00 DEGREES 26 MINUTES 29 SECONDS EAST.

Graphic Scale in Feet



Scale: 1 Inch = 200 Feet

I, Randy L. Kurth, Professional Land Surveyor, do hereby certify that, in accordance with the provisions of Minnesota Statutes, Section 508.47, have surveyed the following described property situated in the County of Ramsey, State of Minnesota:

Tract E, Registered Land Survey No. 561 and
Tract P, Registered Land Survey No. 629;

I hereby certify that this Registered Land Survey is a correct representation of said parcels of land.

Dated this 22nd day of JUNE, 20 22

Randy L. Kurth

Randy L. Kurth, Professional Land Surveyor Minnesota License No. 20270

State of Minnesota

County of Ramsey

This instrument has been acknowledged before me this 23rd day of JUNE, 2022, by Randy L. Kurth

Signed K. Chirbaert

Printed Kathryn Chirbaert

Notary Public, Ramsey County, MN.

My commission expires January 31, 2025.

City of North Oaks

We do hereby certify that on the 24th day of June, 2022, the City Council of the City of North Oaks, Minnesota, has approved this Registered Land Survey.

Kara K. Mayor

M. Baer City Clerk

Department of Property Tax, Records and Election Services

Pursuant to Minnesota Statutes, Section 508.47, Subd. 4, taxes payable in the year 2022 on the land herein before described have been paid. Also pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this 24 day of June, 20 22.

Heather L. Bestler, Ramsey County Auditor/Treasurer

By KMS, Deputy

County Surveyor

Pursuant to Minnesota Statutes, Section 383A.42, this Registered Land Survey is approved this 24th day of June, 2022.

Daniel D. Baar

Daniel D. Baar, Land Surveyor
Ramsey County Surveyor

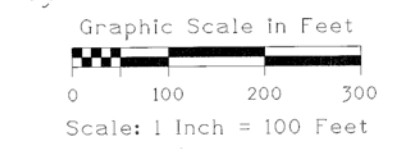
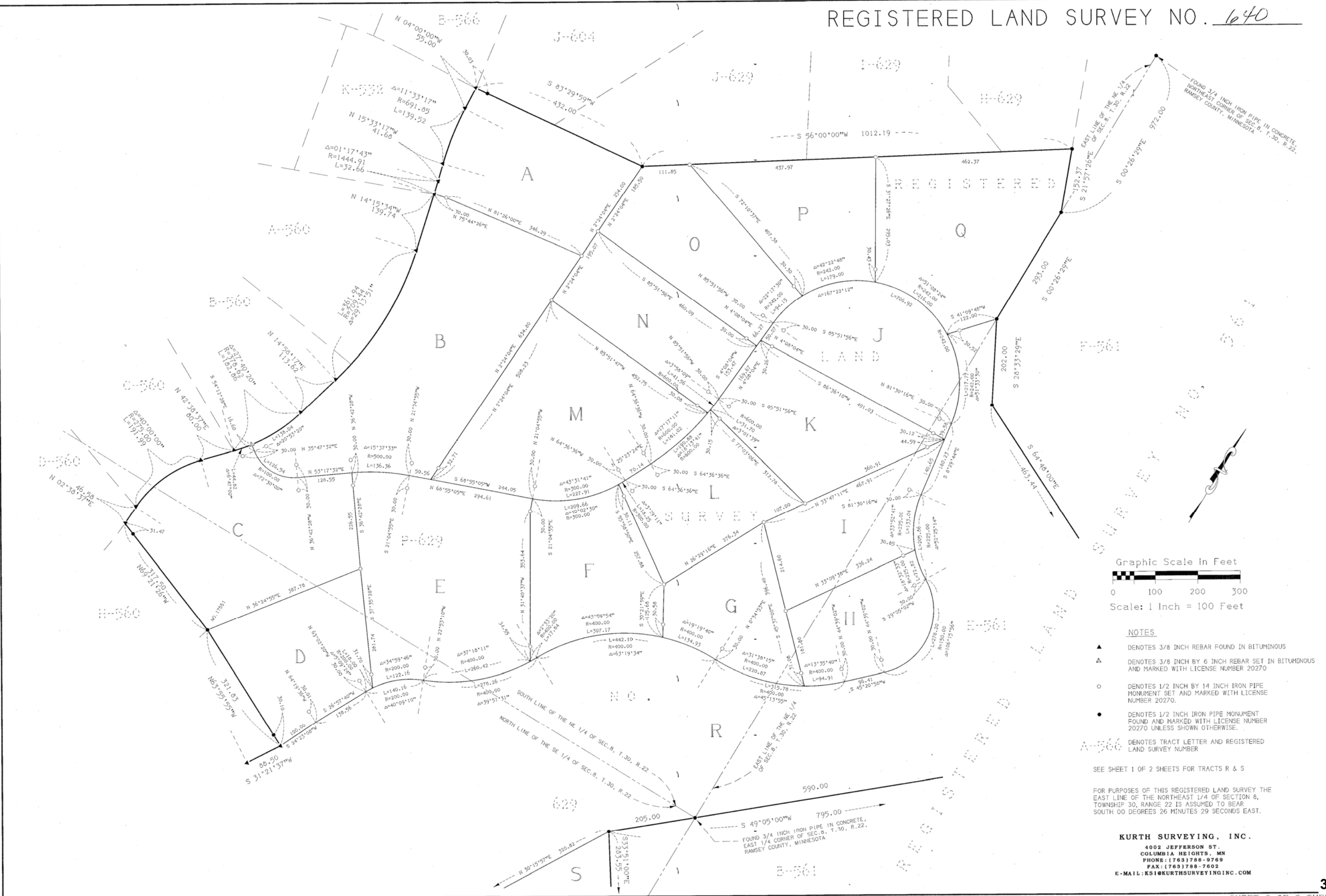
Registrar of Titles, County of Ramsey, State of Minnesota

I hereby certify that this Registered Land Survey No. 640 was filed in this office this 24th day of June, 20 22, at 4:25 o'clock P. M., as Document No. 2735534

Barbara J. Jones
Deputy Registrar of Titles

KURTH SURVEYING, INC.
4002 JEFFERSON ST.
COLUMBIA HEIGHTS, MN
PHONE: (763) 788-9789
E-MAIL: ksi@kurthsurveyinginc.com

7701



- NOTES**
- ▲ DENOTES 3/8 INCH REBAR FOUND IN BITUMINOUS
 - ▲ DENOTES 3/8 INCH BY 6 INCH REBAR SET IN BITUMINOUS AND MARKED WITH LICENSE NUMBER 20270
 - DENOTES 1/2 INCH BY 14 INCH IRON PIPE MONUMENT SET AND MARKED WITH LICENSE NUMBER 20270.
 - DENOTES 1/2 INCH IRON PIPE MONUMENT FOUND AND MARKED WITH LICENSE NUMBER 20270 UNLESS SHOWN OTHERWISE.
 - A-566 DENOTES TRACT LETTER AND REGISTERED LAND SURVEY NUMBER

SEE SHEET 1 OF 2 SHEETS FOR TRACTS R & S

FOR PURPOSES OF THIS REGISTERED LAND SURVEY THE EAST LINE OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 30, RANGE 22 IS ASSUMED TO BEAR SOUTH 00 DEGREES 26 MINUTES 29 SECONDS EAST.

KURTH SURVEYING, INC.
 4002 JEFFERSON ST.
 COLUMBIA HEIGHTS, MN
 PHONE: (763) 788-9769
 FAX: (763) 788-7602
 E-MAIL: KSI@KURTHSURVEYINGINC.COM

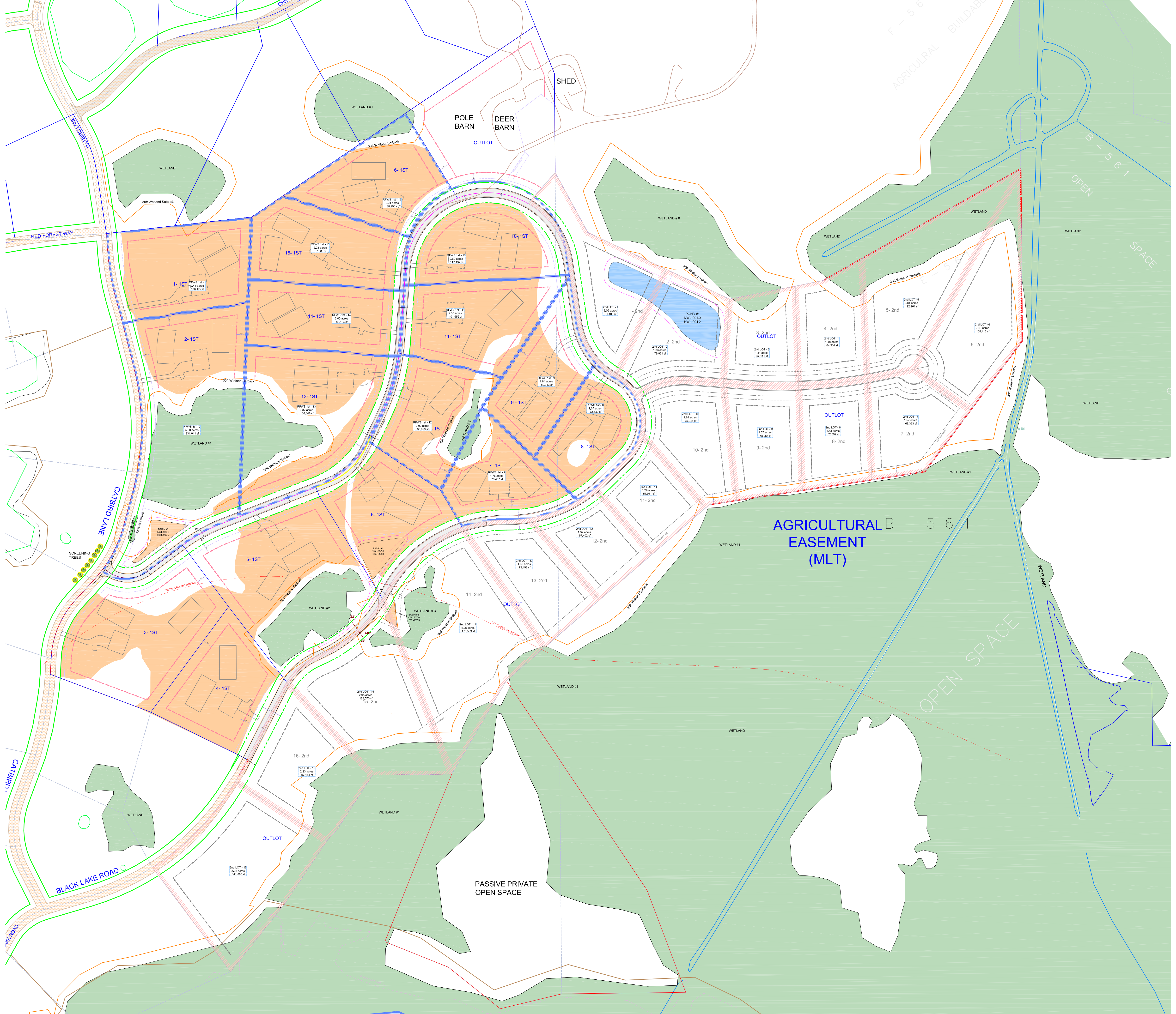


Table 12 2040 North Flow Comp Plan Current Flows to Interceptors			
Interceptor	Designation	Current Flow (MGD)	REVISED Current Flow (MGD)
Forest Lake	MSB6901	0.155	0.198
Shoreview	I - SV -436	0.107	0.107
Totals:		0.262	0.305

Added Areas 18, 19, 21
Need to add Area 27

MGD is millions of gallons per day. Source: Metropolitan Waste Control Commission and Sambatek.

Additional Flow Calculations

	Households/Unit	Assumed Flow (GPD)	Estimate Flow (GPD)	Estimate Flow (MGD)
18. Anderson Woods	9	274	2,466	0.0025
19. Gate Hill	73	274	20,002	0.0200
20. RFWS	33	274	9,042	0.0090
21. Island Field	74	274	20,276	0.0203
27. Golf Course			-	0

Table 13 2040 North Flow Comp Plan Total Projected Sewer Flows By Interceptor							
Interceptor	Current MGD	Table 12 Current MGD	Difference between Table 13 and 12 Current MGD	Planned and Possible Future Development (MGD)	REVISED Planned and Possible Development (MGD)	TOTAL (MGD)	REVISED TOTAL (MGD)
Forest Lake (MSB6901)	0.176	0.155	0.021	0.054	0.097	0.230	0.273
Shoreview (I - SV - 436)	0.114	0.107	0.007	0.007	0.000	0.121	0.114
Totals:	0.290	0.262	0.028	0.061	0.097	0.351	0.387

Added Areas 18, 19, 21 to current MGD, RFWS to Planned and Possible Development
Need to add Area 27 to

MGD is millions of gallons per day. Source: Metropolitan Waste Control Commission and Sambatek.

28000 MGD
102 residential units

Table 14
 2040 North Flow Comp Plan
 Estimate Timing of Sewer Flows

Year	Shoreview (MGD)	REVISED Shoreview (MGD)	Forest Lake (MGD)	REVISED Forest Lake (MGD)
Existing	0.114	0.114	0.176	0.176
2020	0.115	0.115	0.181	0.181
2030	0.118		0.205	
2040	0.121		0.230	

MGD is millions of gallons per day. Source: City of North Oaks, Sambatek

Add Area 21

Add Areas 18, 19, 20, 21

Table 15
 2040 North Flow Comp Plan
 Estimated Timing of Sewer Flow to Centerville Road Trunk

Year	Commercial Acres	Dwelling Units	REVISED Dwelling Units	Flow (GPD)	REVISED Flow (GPD)
Existing	7.3	402	402	121,094	121,094
2020	8.1	416	416	126,031	126,031
2025	10.2	449	460	138,375	141,389
2030	12.3	483	516	150,719	159,761
2035	14.4	516	549	163,062	172,104
2040	16.47	550	583	175,406	184,448

Added 11 RFWS units @274 GPD/unit

Added 22 RFWS units @ 274 GPD/unit

GPD is gallons per day. Source: East Oaks PDA, Sambatek

PLANNING REPORT

TO: North Oaks Planning Commission

FROM: Kendra Lindahl, City Planner
Kevin Kress, City Administrator
Bridget McCauley Nason, City Attorney
Tim Korby and John Morast, City Engineers

DATE: April 12, 2023

RE: North Oaks – East Oaks Planned Unit Development (Nord)
Red Forest Way South Phase 2 Preliminary Plan (Subdivision)
Determination of Completeness

BACKGROUND

The North Oaks Company, LLC has requested preliminary subdivision(plat/plan) approval of a 17-lot single family residential subdivision of Tracts R in RLS 640 (Red Forest Way South). The 35.09 acre property is part of the larger 87.7-acre property is identified as “Site K” (North Black Lake) in the East Oaks Planned Development Agreement (PDA).

Prior to the scheduling of a public hearing for the application, Section 152.021(C) of the North Oaks City Code (the “Subdivision Ordinance”) directs the Planning Commission to review the Preliminary Plan and accompanying submissions (the “Preliminary Plan Application”) and decide whether the submission is complete and contains the information required for an application for Preliminary Plan approval found in the City of North Oaks’ (the City”) Zoning Ordinance, Subdivision Ordinance and East Oaks PDA, as may be applicable.

If the Planning Commission determines the Preliminary Plan Application to be complete, it should call for a public hearing to be held at an upcoming meeting. In this case, it is anticipated that the Planning Commission may schedule the public hearing at its May meeting (tentatively scheduled for May 10th). If, however, the Preliminary Plan application is deemed incomplete, the Planning Commission must advise the applicant what additional information is necessary such that it may be determined to be complete.

A determination of completeness is not intended to consider design aspects of the subdivision (street and lot layouts, trail locations etc.). Nor is a determination of completeness a determination of compliance or conformity with the terms of the PDA or its controls. Such issues are intended to be addressed as part of the formal subdivision review which will follow.



The Planning Commission should make its determination of completeness within 15 business days from the date the application materials were received. The Preliminary Plan Application was received by the City on March 23, 2023. Thus, the Planning Commission should make its determination no later than April 13, 2023.

Attached for reference:

Exhibit A: Preliminary Subdivision (Plan) Submission Requirements

Exhibit B: Application Materials:

- B1: Applicant Narrative
- B2: 2023 North Oaks RLS Map
- B3: Existing Conditions (Red Forest Way South)
- B4: Existing Conditions (Red Forest Way South Phase 2)
- B5: Preliminary Plat / Easement Plan
- B6: Lot Tabulation
- B7: Title Sheet
- B8: Preliminary Grading Plan
- B9: Preliminary Erosion Control Plan
- B10: Preliminary Utility Plan
- B11: Preliminary Storm sewer Plan
- B12: Preliminary Street Plan
- B13: Trail Locations Map
- B14: East Oaks Development Graphics

Exhibit C: Draft Resolution of Completeness

STAFF COMMENTS REGARDING COMPLETENESS OF APPLICATION

Information Requirements. Attached as Exhibit A is a table which lists the various submission requirements for Preliminary Plan applications. In consideration of the submitted application, it is important to note that submission requirements for Preliminary Plan Applications are found in the following documents:

1. The Subdivision Ordinance (Subdivision Regulations, City Code Chapter 152 - previously Ord. 93)
2. The Zoning Ordinance (Zoning Code, Chapter 151 - previously Ord. 94)

The submission requirements referenced in the East Oaks PDA documents are a direct duplication of the submission requirements provided in the Zoning Ordinance.

Also, some submission requirements do not apply to single family development applications. Such requirements would typically apply to higher density residential development and/or commercial projects. In this regard, listed submission requirements such as parking facilities, loading areas,

building elevations, landscaping plans etc. are not considered applicable to this subdivision and are noted as “Not Applicable/NA” in Exhibit A.

In review of the submission requirements listed in attached Exhibit A, staff finds that submission requirements have been satisfied. However, staff notes the three items on the checklist that could not be checked as submitted (landscaping, basement elevations, signage):

- Landscaping. No landscape plan is provided. Neither the PDA nor the City ordinance have landscape requirements for single family development.
- Basement Elevations. Basement elevations are provided for Lots 1-10 where mass grading is planned. However, the applicant has indicated that Lots 11-17 will be custom graded to maximize tree preservation. The applicant has asked to wait until the home is designed and provide building elevations for those lots with building permits.
- Signage. No sign plan is provided because no development signage is proposed. Street signage would typically be finalized with the final plans.

Additionally, we note that the applicant has provided information about trail locations and Tract S in RLS 640 (which will be deeded to NOHOA as open space) on the plans. But there is no exhibit labeled as “Park, Recreation, Green Space and Open Space.” However, staff believes the required information has been provided.

Application Action Deadline. Minnesota Statutes, §462.358, Subd. 3b, requires a subdivision application “be preliminarily approved or disapproved within 120 days following delivery of an application completed in compliance with the municipal ordinance by the applicant to the municipality, unless an extension of the review period has been agreed to by the applicant.”

RECOMMENDATION

The Planning Commission is charged with the responsibility of determining whether the submitted Red Forest Way South Phase 2 (Nord) Preliminary Plan application is complete.

In review of the submitted application materials and the applicable submission requirements found in the Zoning and Subdivision Ordinances, Staff has determined that required information has been provided to the City, and that the Preliminary Plan Application is complete and have prepared a resolution for completeness.

Staff recommends that the Planning Commission adopt the attached resolution deeming the application complete.

cc: Roberta Colotti, NOHOA

RED FOREST WAY SOUTH PHASE 2
PRELIMINARY PLAN/PRELIMINARY PLAT
SUBMISSION REQUIREMENTS AND PROCESS

1999 EAST OAKS PDA (AS AMENDED)

The East Oaks PDA requires that final plans be submitted and approved for all development sites within the East Oaks Development.

Preliminary Plan Definition: “Preliminary Plan” (per 7.12.2.B.2) means the:

- A. Boundaries of Subdivision;
- B. Detailed plans and drawings approved by the City pursuant to the zoning ordinance and the subdivision ordinance for each Development Site that shall address the following:
 - ✓ Boundaries, layout and size of lots to the nearest tenth of an acre
 - ✓ Streets, Roads and Easements and access plan
 - ✓ Park, recreation, Green Space and Open Space
 - ✓ Topographical map
 - ✓ Name of project/development
 - ✓ All easements, including, but not limited to utilities, road, drainage, trail, park, recreation, open space, restricted use
 - ✓ Relationship of Lots and Easements to adjoining Lands
 - ✓ Grading
 - ✓ Wetlands
 - ✓ Surface water quality
 - ✓ Storm water controls, erosion controls and drainage
 - ✓ Streets
 - ✓ Utilities
 - Landscaping
 - Basement elevations
 - Signage
 - ✓ Easement for utilities

Prior to Preliminary Plan Approval Developer Shall Comply with the Following Requirements:

PDA Preliminary Plan Approval Requirement	Item Required to be Filed with City	Has Item Been Filed with City? (Y/N or N/A)	Notes/Specific Reference to Document and Page Number for Submission
	Model deed restrictions, covenants, and restrictions, and any proposed HOA documents, articles of incorporation or bylaws or other documents controlling the use and maintenance of land within the Development Site; proposed declarations (see Sections 2.4, 7.1, of the PDA; See Model Development Contract Sections 3.8 and 9.1)	Y	Draft document submitted. Declaration will be modeled off RFWS phase 1. Most be finalized with final plan.
	Preliminary Plan must conform with the PDA unless otherwise approved by the Council Preliminary Plan must conform with the East Oaks Project Master Development Plan unless otherwise approved by the Council	Y	
	Submit soil boring as required by the City Engineer	Y	
	Submit preliminary road designs as required by the City Engineer	Y	
	Submit typical pavement sections as required by the City Engineer	Y	
	Submit grading quantities for the roadways as required by the City Engineer	Y	
	Submit overall detailed grading plans and a narrative which addresses how Development Site grading for utilities, street, and individual Development Site Development will occur; subject to Council and VLAWMO approval	Y	
	Submit overall detailed grading plans which include an overall erosion control plan which addresses erosion control and protection of surface water quality; subject to Council and VLAWMO approval	Y	

PDA Preliminary Plan Approval Requirement	Item Required to be Filed with City	Has Item Been Filed with City? (Y/N or N/A)	Notes/Specific Reference to Document and Page Number for Submission
	Submittal to VLAWMO (if required)	Y	
	Obtain all necessary approvals, permits, and licenses from the City	Pending	
	Obtain all necessary approvals, permits, and licenses from other regulatory entities and agencies with jurisdiction over the Development Site Major design requirements of the City shall be determined prior to construction and incorporated into the Final Plan	Pending Pending	
	Major design requirements of other regulatory entities and agencies with jurisdiction over the development site shall be determined prior to construction and incorporated into the Final Plan	Pending	
	City Engineer' must approve Developer's Contract for installation of all utilities	N/A	Will be address with final plan

CHAPTER 152: SUBDIVISION REGULATIONS

Section 152.021: Approval of Preliminary Plan

City Code Section 152.021 Approval of Preliminary Plan	Item Required to be Filed with City	Has Item Been Filed with City? (Y/N or N/A)	Notes/Specific Reference to Document and Page Number for Submission
	An original and 20 copies of the preliminary drawings	Y	
	Certificate of surveyor	Y	
	Legal description of parcel to be subdivided	Y	Tract R RLS 640
	Owner's statement (if subdivider is not owner)	N/A	
	Notarized certificate of all mortgage holders acknowledging adoption of plat	N/A	
	Proof of ownership (registered property certificate)		
	Written application by the owner	Y	
	Application Fee and Escrow	Y	
	Two (2) copies of the preliminary plat (NOTE: Plat is defined as a Registered Land Survey) showing the location, width, and type of each easement and any other special provisions	Y	
	Preliminary plat with easements and other special provisions showing, as an overlay to the proposed lots, all proposed special provisions, such as areas restricted for certain uses, and all proposed easements, including road easements, and also including, where applicable, the relationship of proposed easements to existing easements in adjoining subdivisions.	Y	
	Calculation of usable area for each lot that has been determined to be a suitable site	Y	
	For each unsewered lot, the preliminary plan shall also include the location of two 5,000-square-foot individual	N/A	

City Code Section 152.021 Approval of Preliminary Plan	Item Required to be Filed with City	Has Item Been Filed with City? (Y/N or N/A)	Notes/Specific Reference to Document and Page Number for Submission
	sewage treatment system sites with general soils documentation prepared by a registered soils engineer indicating the suitability for on-site individual sewage treatment systems.		
	Preliminary plan shall consist of a map or drawing at a scale of 100 feet to an inch delineating and showing correctly the boundaries of the major subdivision; boundaries, layout, and size to the nearest tenth of an acre of the lots therein; streets, parks, playgrounds, and other land locations; and shall have the north point and scale indicated; and a topographic map to the same scale showing contours, physical features such as water courses, ponds, wetlands, and tree areas before the major subdivision has taken place, together with a clear indication of what happens to the features after the major subdivision.	Y	
	Other documents and information as required by the Planning Commission for the purpose of ensuring that the provisions, purposes, and objectives of this chapter and of the Comprehensive Plan are met and that the public interest is well served.	Y	



March 23, 2023

Mr. Kevin Kress
City Administrator
City of North Oaks
100 Village Center Drive, Suite 150
North Oaks, Minnesota 55127

Re: Site K – Red Forest Way South – Phase 2 (North Black Lake) Development
Preliminary Plan –Subdivision Application

Dear Kevin,

This letter accompanies the application for Preliminary Plan approval to subdivide Site K – Red Forest Way South, previously known as North Black Lake, including all items outlined in the submittal requirements of the East Oaks Planned Unit Development Agreement, dated February 11, 1999 (PDA).

North Oaks Company LLC (Company) submitted a Concept Plan for development of both Phase 1 & 2 of the Subject Property on December 3, 2019 and again on January 30, 2020 in accordance with the terms of the PDA.

Please consider this a request for the City of North Oaks (City) Staff to review the application for Preliminary Plan approval for the subdivision of Site K - Red Forest Way South – Phase 2 (Site). We request the Planning Commission review and approve the application is complete during its meeting April 12, 2023, and review again at the Planning Commission meeting May 10, 2023 with the required public hearing and recommend City Council approve the subdivision of Site at a special meeting on or around May 25, 2023, if possible.

It is our understanding the City is also moving forward with the process to update the 2040 Comprehensive Plan to modify Maps #1, #16, #17 and #18 to allow for sanitary sewer and water to be installed in the areas known as Red Forest Way South – Phase 1 & 2.

The Site is zoned RSL-PUD and the Company is developing the Site in 2 phases. This application is for the subdivision of Phase 2 of the Site, which is 17 lots for the construction of single-family homes. You will find the drawings show the approved final plans for Phase 1 which includes 16 additional lots for the construction of single-family homes. The lots in Phase 1 have been constructed and a registered land survey (RLS 640) has been recorded with Ramsey County. Each lot is larger than the minimum 1.45 acres required in the PDA. The lots in Phase 2 will be served with municipal sanitary sewer, municipal water, natural gas, electric, and communication systems. The lots in Phase 1 currently utilize a well for the water supply and on-site septic system for sanitary sewer. The Company is willing to consider extending sanitary sewer and water to lots in Phase 1 as shown on the Phase 2 Plans, if possible. An amendment to the Phase 1 Developer's Agreement will be necessary if water and sanitary sewer are to be constructed in Phase 1.

The proposed subdivision of lots is further described in the enclosed documents:

- Sheet 1 – Title Sheet, dated 03.23.23
- Sheet 1A – Preliminary Overall Existing Conditions, dated 03.23.23
- Sheet 1B – Preliminary Existing Conditions Within Lot Areas, dated 03.23.23
- Sheet 2 – Preliminary Plat Plan, dated 03.23.23
- Sheet 3 – Preliminary Plat Easement Plan, 03.23.23
- Sheet 4A, 4B, 4C and 4D – Preliminary Grading Plans, 03.23.23
- Sheet 5A, 5B, and 5C – Preliminary Erosion Control Plans, dated 03.23.23
- Sheet 6A, 6B, 6C, 6D, 6E, 6F, 6G, and 6H – Preliminary Sanitary Sewer and Watermain Plans, dated 03.23.23
- Sheet 6I, 6J, 6K, and 6L – Preliminary Storm Sewer Plans, dated 03.23.23
- Sheet 7A, 7B, 7C, 7D, 7E and 7F – Preliminary Street Plans, dated 03.23.23
- Lot Tabulation – dated 03.23.23
- Overall North Oaks Address and RLS Map

Phase 2 will include eight (8) lots to be accessed directly from recently constructed Black Lake Road, and the remaining nine (9) lots will be accessed from a new road, that connects to Black Lake Road and extends east to a cul-de-sac. A name for the new road will be proposed prior to Planning Commission. The Company consulted with Westwood Engineering and the adjoining roads serving the project have ample capacity to accommodate the vehicular traffic in and out of the project. A copy of the memo is included with the submittal. The preliminary grading plan shows there are no impacts to wetlands or mature trees. Stormwater was modeled for both Phase 1 and Phase 2 and ponds were constructed with Phase 1. The Stormwater Management Report prepared by AE₂S dated October 6, 2021 is included with this submittal.

The lots along the south side of Phase 2 are located along the existing Farm Road to minimize any grading and tree removal. Grading and tree removal will not occur on the proposed lots until each future homeowner determines the placement of their home and be approved as a part of the building permit process for each home.

Open space has been provided on the south side of the Site on Tract S of RLS 640, as shown on the drawings. Tract S will be deeded to NOHOA with Phase 2. The Company and NOHOA have agreed to connect the Site to existing trails that extend east to Hill Farm Condominiums, north to Waverly Gardens, south to the Pines, and west to the NOHOA trail system at Catbird Lane.

The Company request approval to complete grading, street construction, and installation of all utilities in Phase 2, by separate action of the City Council at the same time as it approves the Preliminary Plan, as per Article 5 of the PDA given it is the desire to install utilities under the proposed street in Phase 1. It is proposed to complete the work included in Phase 2 with the remaining work in Phase 1 during the 2023 construction season.

We look forward to presenting this plan to you and responding to your questions and comments.

Sincerely
North Oaks Company LLC,



Lauren Grouws
Vice President

Enclosures

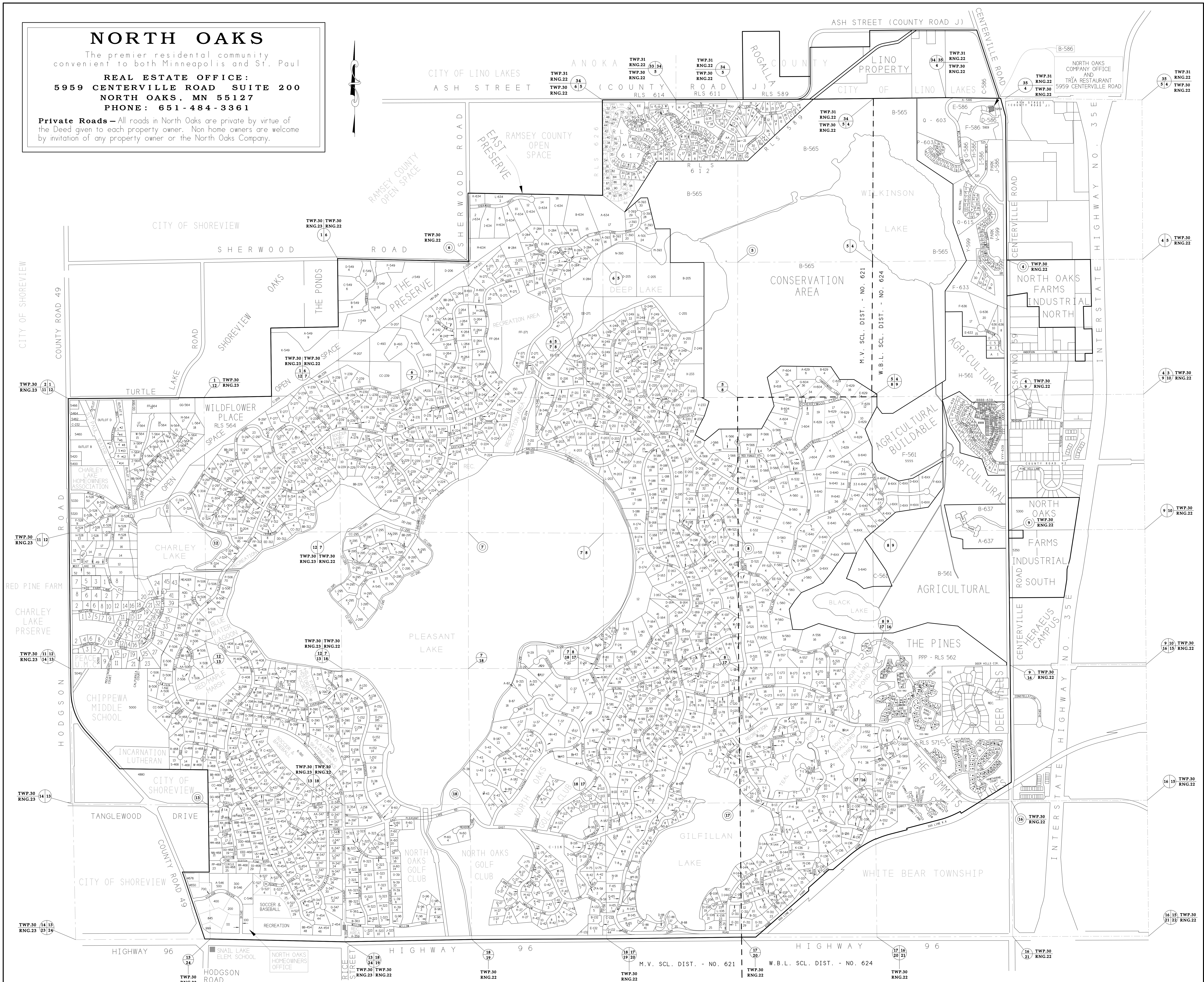
cc: City Planner
City Engineer
City Attorney
Mark Houge, North Oaks Company LLC

NORTH OAKS

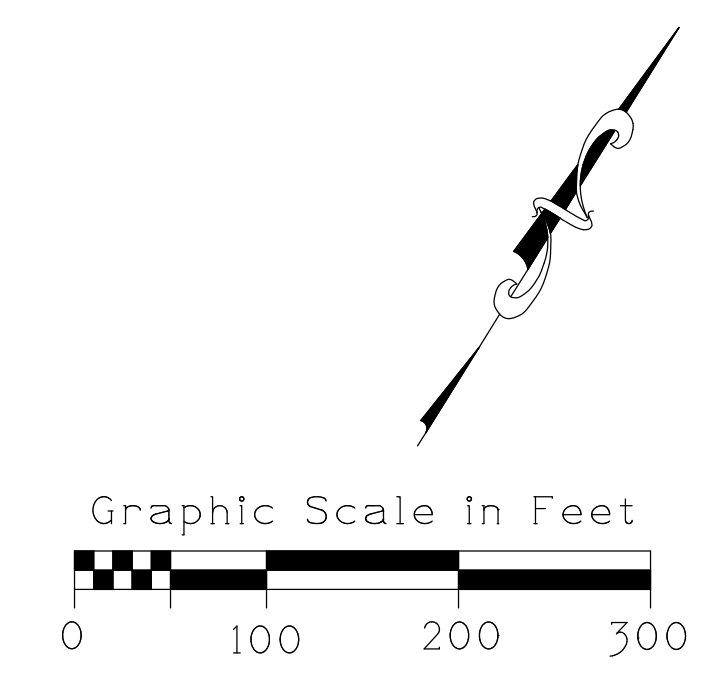
The premier residential community convenient to both Minneapolis and St. Paul

REAL ESTATE OFFICE:
5959 CENTERVILLE ROAD SUITE 200
NORTH OAKS, MN 55127
PHONE: 651-484-3361

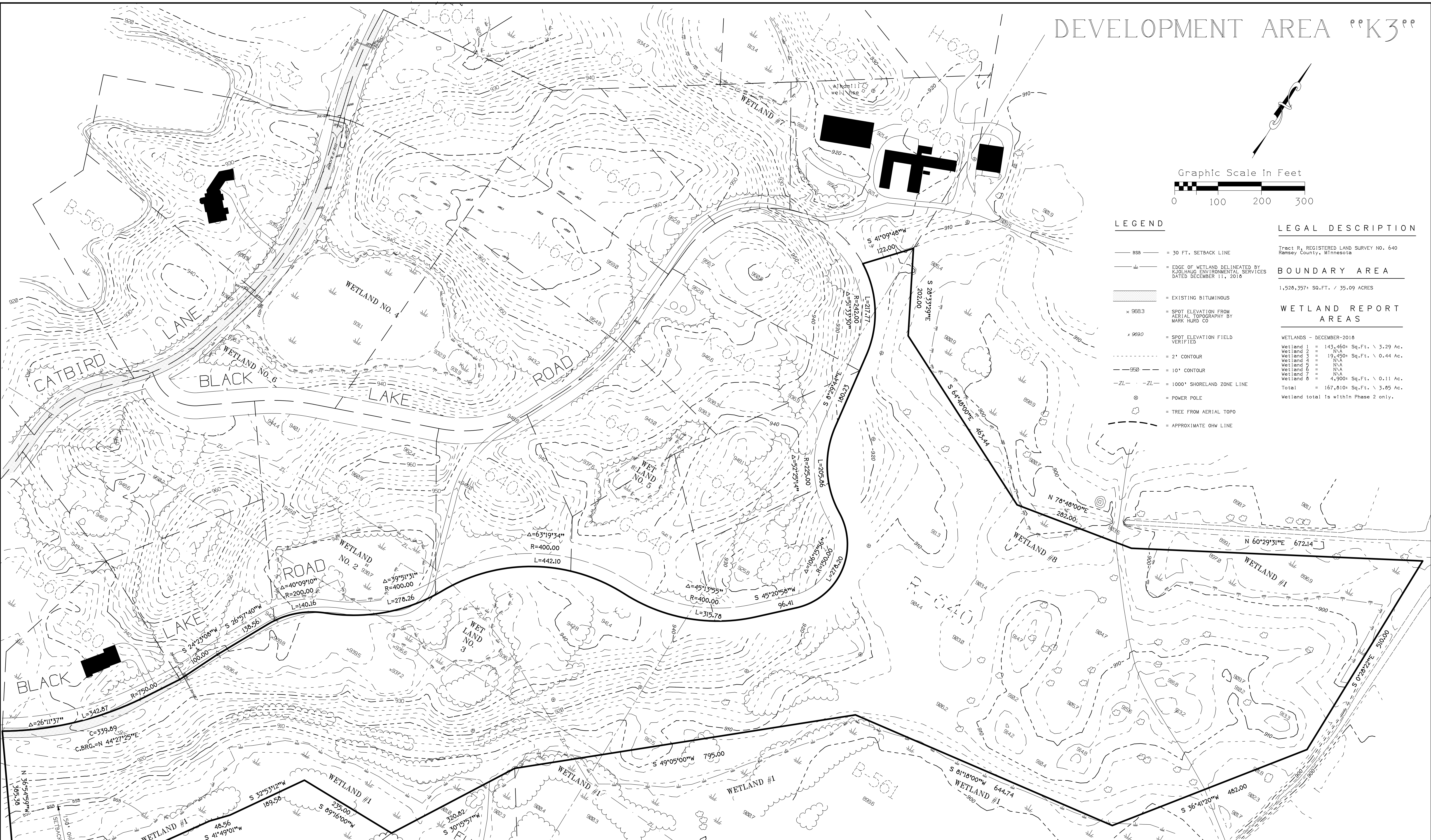
Private Roads - All roads in North Oaks are private by virtue of the Deed given to each property owner. Non home owners are welcome by invitation of any property owner or the North Oaks Company.



DEVELOPMENT AREA "K3"



LEGEND	LEGAL DESCRIPTION
--- 30 FT. SETBACK LINE	Tract R, REGISTERED LAND SURVEY NO. 640 Ramsey County, Minnesota
--- EDGE OF WETLAND DELINEATED BY KJOLHAUG ENVIRONMENTAL SERVICES DATED DECEMBER 11, 2016	BOUNDARY AREA 1,526,357 SQ. FT. / 35.09 ACRES
--- EXISTING BITUMINIOUS	WETLAND REPORT AREAS
x 96B3 = SPOT ELEVATION FROM AERIAL TOPOGRAPHY BY MARK HIRD CO	WETLANDS - DECEMBER 2018
x 96B0 = SPOT ELEVATION FIELD VERIFIED	Wetland 1 = 143,460 Sq.Ft. \ 3.29 Ac.
--- 2' CONTOUR	Wetland 2 = N/A
--- 10' CONTOUR	Wetland 3 = 19,450 Sq.Ft. \ 0.44 Ac.
-ZL- -ZL- = 1000' SHORELAND ZONE LINE	Wetland 4 = N/A
o = POWER POLE	Wetland 5 = N/A
o = TREE FROM AERIAL TOPO	Wetland 6 = N/A
--- APPROXIMATE OHW LINE	Wetland 7 = N/A
	Wetland 8 = 4,900 Sq.Ft. \ 0.11 Ac.
	Total = 167,810 Sq.Ft. \ 3.85 Ac.
	Wetland total is within Phase 2 only.



KURTH SURVEYING, INC.
 4002 JEFFERSON ST. N.E.
 COLUMBIA HEIGHTS, MN 55421
 PHONE: (763) 788-8769
 E-MAIL: KSI@KURTHSURVEYINGINC.COM

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.
Randy L. Kurth
 Randy L. Kurth, RLS. No. 20270
 Russell J. Kurth, RLS. No. 16113

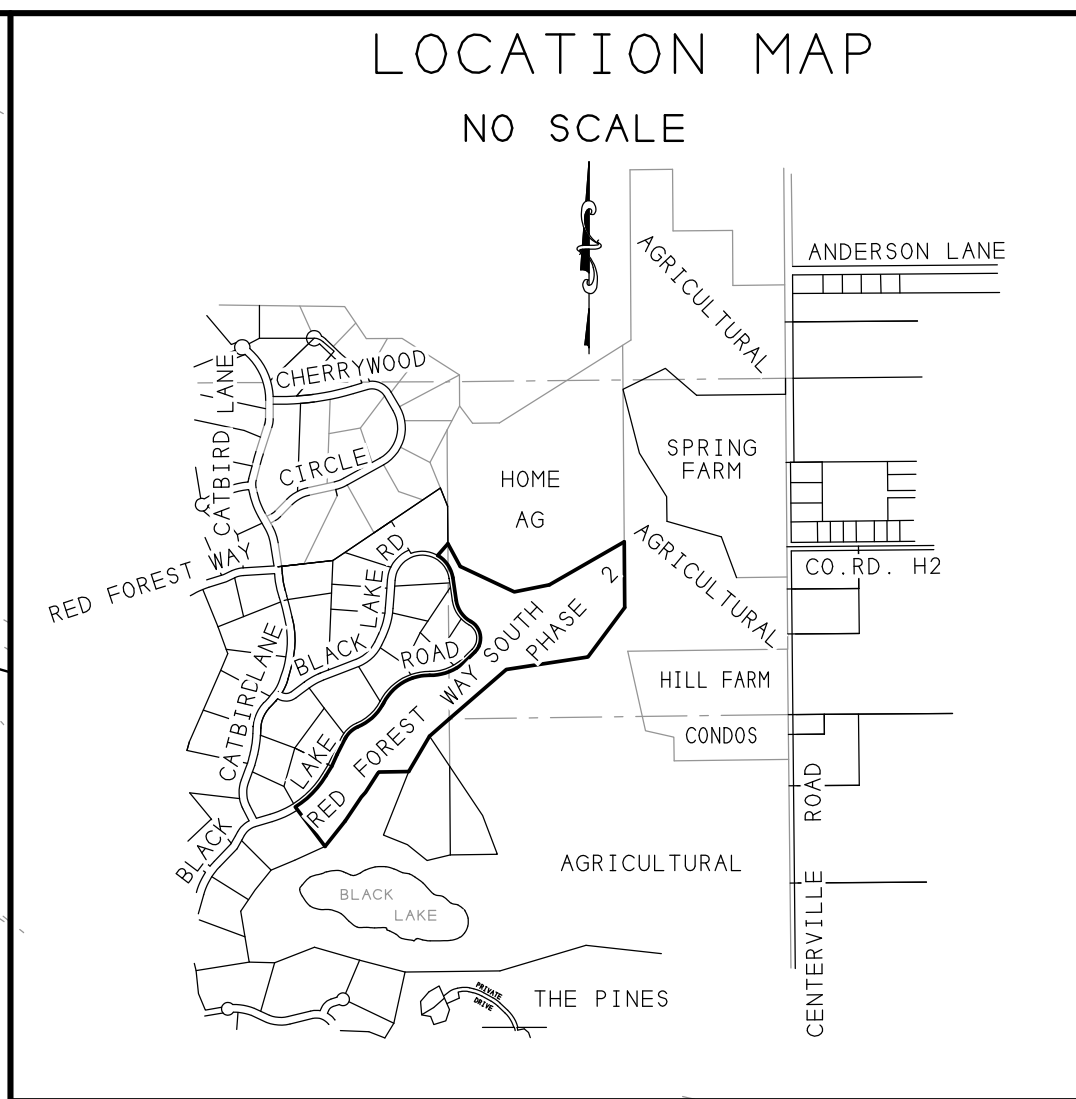
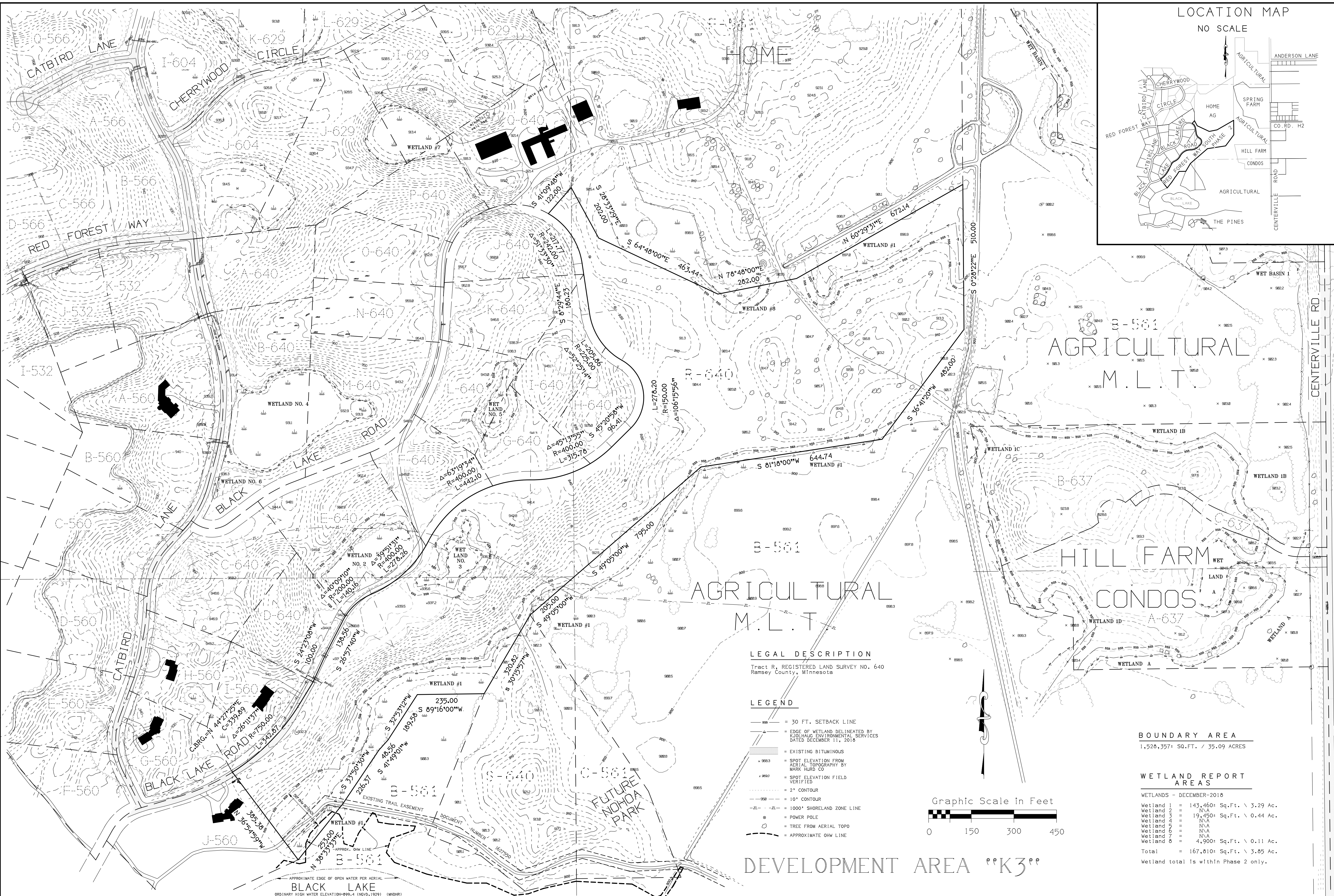
NORTH OAKS
 COMPANY

RED FOREST WAY SOUTH PHASE 2

SHEET DESCRIPTION:
 PRELIMINARY EXISTING CONDITIONS WITHIN LOT AREAS

DATE: March 23, 2023
 SHEET 1B OF 7 SHEETS

3d_north_004a\survey\3\phase 2\pre plan\plan\WMS-2 pre existing conditions-8.dwg 100 scale - rotate (02/23/23 10:30:00)



DATE: March 23, 2023
 SHEET DESCRIPTION:
 PRELIMINARY
 OVERALL
 EXISTING
 CONDITIONS

PROJECT:
 RED FOREST
 WAY SOUTH
 PHASE 2

N O R T H O A K S
 C O M P A N Y

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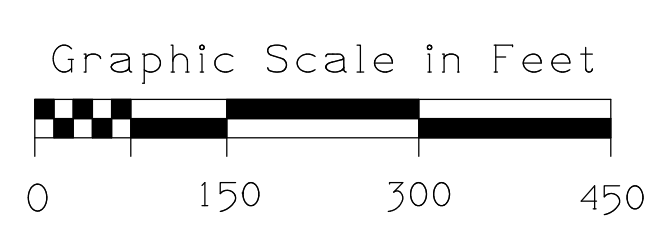
KURTH SURVEYING, INC.
 4002 JEFFERSON ST., N.E.
 COLUMBIA HEIGHTS, MN 55421
 PHONE: (763) 788-9769
 E-MAIL: KS@KURTHSURVEYING.COM

AGRICULTURAL
 M.L.T.

HILL FARM
 CONDOS

LEGAL DESCRIPTION
 Tract R, REGISTERED LAND SURVEY NO. 640
 Ramsey County, Minnesota

- LEGEND**
- = 30 FT. SETBACK LINE
 - - - - - = EDGE OF WETLAND DELINEATED BY KJOLHAUG ENVIRONMENTAL SERVICES DATED DECEMBER 11, 2016
 - ▨ = EXISTING BITUMINOUS
 - x 989.3 = SPOT ELEVATION FROM AERIAL TOPOGRAPHY BY MARK HURD CO
 - x 990 = SPOT ELEVATION FIELD VERIFIED
 - = 2' CONTOUR
 - = 10' CONTOUR
 - - - - - = 1000' SHORELAND ZONE LINE
 - ⊙ = POWER POLE
 - ⊙ = TREE FROM AERIAL TOPO
 - - - - - = APPROXIMATE OHW LINE



BOUNDARY AREA
 1,528,357+ SQ.FT. / 35.09 ACRES

WETLAND REPORT AREAS

WETLANDS - DECEMBER-2016

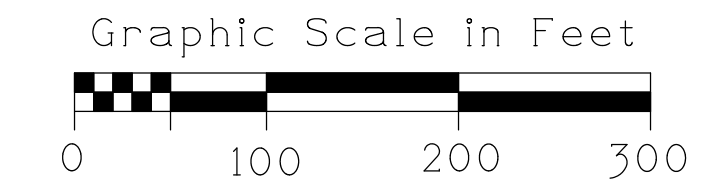
Wetland #1	= 143,460+ Sq.Ft. \ 3.29 Ac.
Wetland #2	= N/A
Wetland #3	= 19,450+ Sq.Ft. \ 0.44 Ac.
Wetland #4	= N/A
Wetland #5	= N/A
Wetland #6	= N/A
Wetland #7	= N/A
Wetland #8	= 4,900+ Sq.Ft. \ 0.11 Ac.
Wetland #9	= N/A
Wetland #10	= N/A
Wetland #11	= N/A
Wetland #12	= N/A
Wetland #13	= N/A
Wetland #14	= N/A
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Wetland #95	= N/A
Wetland #96	= N/A
Wetland #97	= N/A
Wetland #98	= N/A
Wetland #99	= N/A
Wetland #100	= N/A

Total = 167,810+ Sq.Ft. \ 3.85 Ac.
 Wetland total is within Phase 2 only.

DEVELOPMENT AREA "K3"

BLACK LAKE
 ORDINARY HIGH WATER ELEVATION=899.4 (INDV,1929) (MNDNR)

DEVELOPMENT AREA "K3"



BUILDING SETBACKS & LOT REQUIREMENTS PER RSL ZONING

BUILDING TO BUILDING SETBACKS:

ROAD RIGHT OF WAY SETBACKS:
 FRONT: 30 FT.
 SIDE: 30 FT.
 REAR: 30 FT.
 WETLAND: 30 FT.

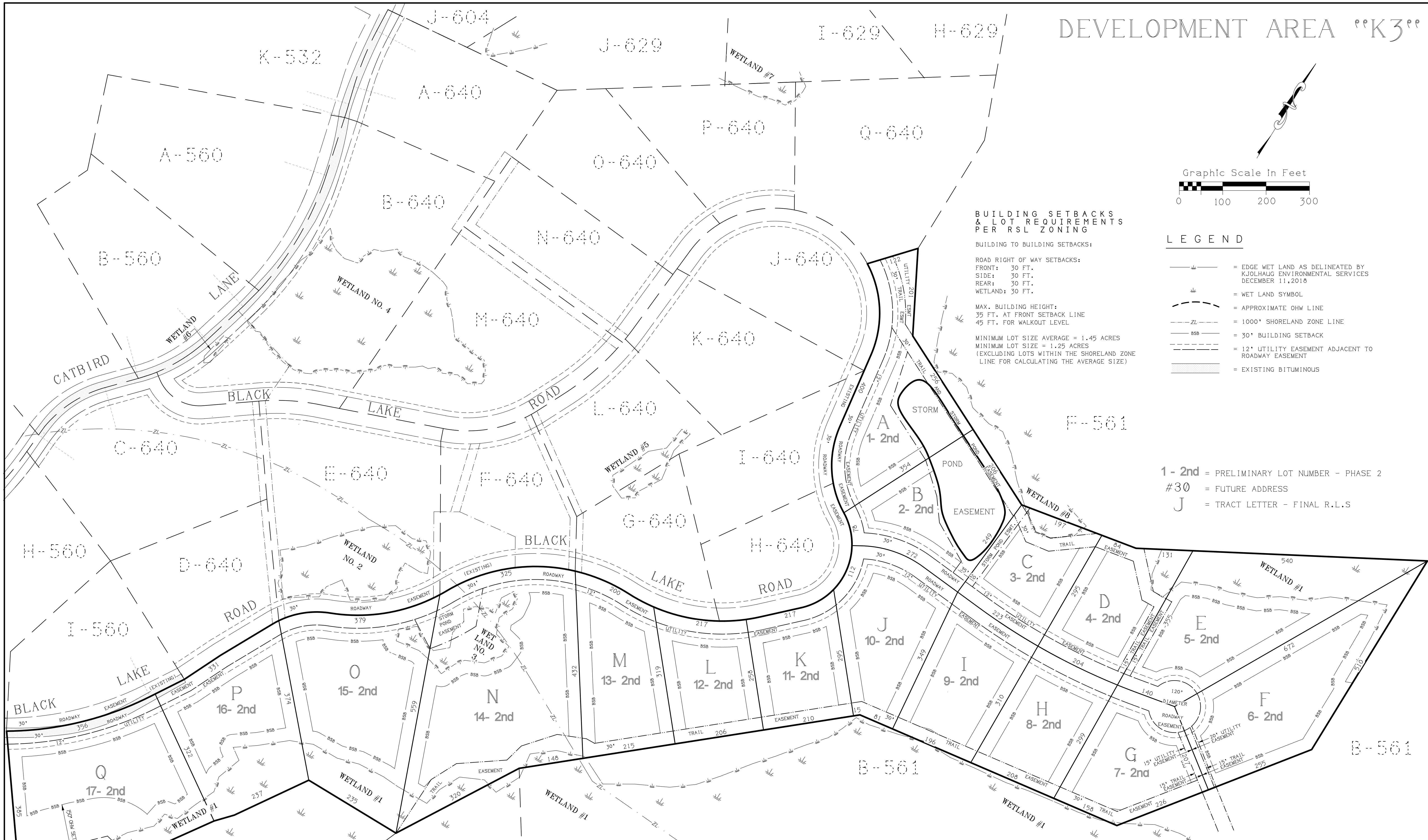
MAX. BUILDING HEIGHT:
 35 FT. AT FRONT SETBACK LINE
 45 FT. FOR WALKOUT LEVEL

MINIMUM LOT SIZE AVERAGE = 1.45 ACRES
 MINIMUM LOT SIZE = 1.25 ACRES
 (EXCLUDING LOTS WITHIN THE SHORELAND ZONE LINE FOR CALCULATING THE AVERAGE SIZE)

LEGEND

- = EDGE WETLAND AS DELINEATED BY KJOLHAUG ENVIRONMENTAL SERVICES DECEMBER 11, 2018
- = WETLAND SYMBOL
- = APPROXIMATE OHW LINE
- = 1000' SHORELAND ZONE LINE
- = 30' BUILDING SETBACK
- = 12' UTILITY EASEMENT ADJACENT TO ROADWAY EASEMENT
- = EXISTING BITUMINOUS

- 1 - 2nd = PRELIMINARY LOT NUMBER - PHASE 2
- #30 = FUTURE ADDRESS
- J = TRACT LETTER - FINAL R.L.S



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 COLUMBIA HEIGHTS, MN 55421
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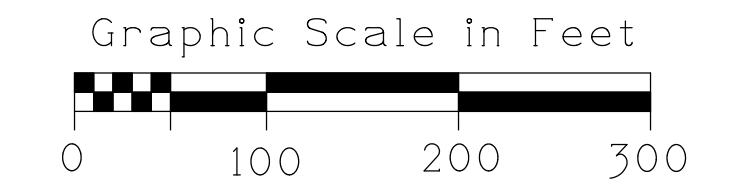
I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.
Randy L. Kurth
 Randy L. Kurth, RLS, No. 20270
 Russell J. Kurth, RLS, No. 16113

NORTH OAKS
 COMPANY

RED FOREST WAY SOUTH PHASE 2

SHEET DESCRIPTION: **PRELIMINARY PLAT PLAN**
 DATE: MARCH 23, 2023
SHEET 2 OF 7 SHEETS

DEVELOPMENT AREA "K3"



LEGEND

- = EDGE WET LAND AS DELINEATED BY KJOLHAUG ENVIRONMENTAL SERVICES DECEMBER 11, 2018
- = WET LAND SYMBOL
- = APPROXIMATE OHW LINE
- = 1000' SHORELAND ZONE LINE
- = 30' BUILDING SETBACK
- = 30' ROADWAY EASEMENT
- = 12' UTILITY EASEMENT ADJACENT TO ROADWAY EASEMENT
- = STORM POND/DRAINAGE EASEMENT
- = TRAIL EASEMENT
- = EXISTING BITUMINOUS
- = SEWER/UTILITY EASEMENT

- 1- 2nd** = PRELIMINARY LOT NUMBER - PHASE 2
- #30** = FUTURE ADDRESS
- A** = TRACT LETTER - FINAL R.L.S



KURTH SURVEYING, INC.
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 COLUMBIA HEIGHTS, MN 55421
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NORTH OAKS
 COMPANY

RED FOREST WAY SOUTH
 PHASE 2

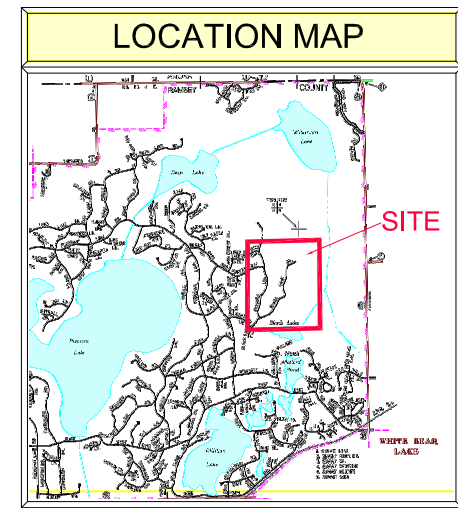
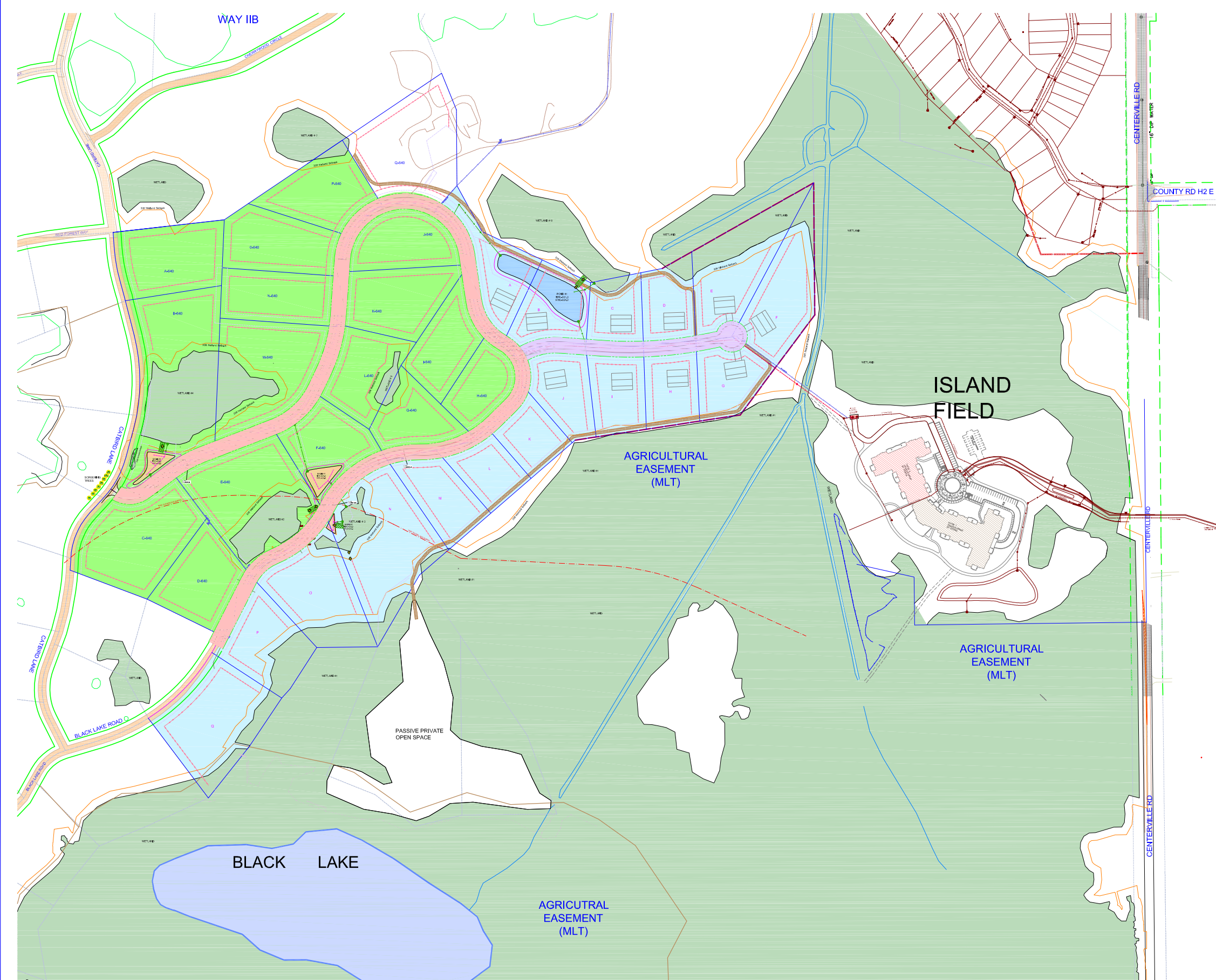
SHEET DESCRIPTION:
PRELIMINARY PLAT EASEMENT PLAN

DATE: March 23, 2023
SHEET 3 OF 7 SHEETS

PROJECT RECAP	
TOTAL NUMBER OF BUILDABLE LOTS	17
TOTAL PROJECT ACREAGE-PHASE 1&2	87.7 Acres
TOTAL AREA -ACREAGE IN BUILDABLE LOTS	35.1 Acres
AVERAGE TOTAL LOT SIZE	2.06 Acres

NOTES: TOTAL LOT AREA INCLUDES ROAD RIGHT OF WAY
 GROSS LOT AREA EXCLUDES ROAD RIGHT OF WAY
 NET LOT AREA IS TOTAL LOT, LESS ROAD RIGHT OF WAY, AND LESS 2/3 OF WETLANDS
 MAXIMUM HOUSE SIZE (FAR) IS 12% OF GROSS LOT AREA
 USEABLE AREA EXCLUDES ALL REQUIRED SETBACKS, EASEMENTS & WETLANDS

TRACT LETTER	TOTAL LOT AREA		ROAD R/W	GROSS LOT AREA	WETLAND AREA	NET LOT AREA	F.A.R. LOT AREA	USEABLE AREA	LOT NO.
	SQ. FT.	ACRES							
A	91,097	2.09	17,990	73,107		73,107	8,773	17670	1-2nd
B	79,919	1.83	10,226	69,693		69,693	8,363	15140	2-2nd
C	57,112	1.31	6,648	50,464	4900	47,230	5,668	21610	3-2nd
D	64,304	1.48	6,117	58,187	6190	54,102	6,492	26990	4-2nd
E	122,261	2.81	6,501	115,760	45410	85,789	10,295	36400	5-2nd
F	108,411	2.49	3,070	105,341	9350	99,170	11,900	57950	6-2nd
G	68,361	1.57	6,731	61,630		61,630	7,396	35120	7-2nd
H	62,092	1.43	6,127	55,965		55,965	6,716	30770	8-2nd
I	68,258	1.57	6,661	61,597		61,597	7,392	34710	9-2nd
J	75,945	1.74	11,159	64,786		64,786	7,774	37250	10-2nd
K	55,977	1.29	6,463	49,514		49,514	5,942	26080	11-2nd
L	57,398	1.32	6,501	50,897		50,897	6,108	26810	12-2nd
M	73,487	1.69	6,063	67,424		67,424	8,091	38000	13-2nd
N	176,579	4.05	9,906	166,673	28910	147,592	17,711	78900	14-2nd
O	128,574	2.95	11,264	117,310	24870	100,896	12,107	56800	15-2nd
P	96,854	2.22	9,837	87,017	26000	69,857	8,383	31420	16-2nd
Q	141,705	3.25	10,844	130,861	21950	116,374	13,965	48920	17-2nd
Total	1,528,334	35.09	142,108	1,386,226	167,580	1,275,623	N/A	N/A	Total



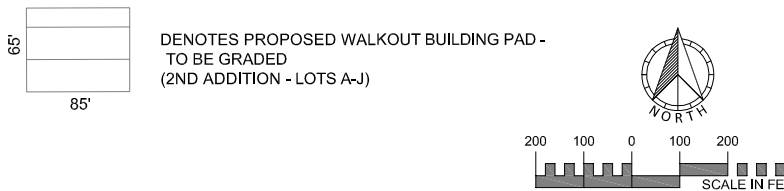
SHEET INDEX TABLE	
SHEET	Description
1	Title Sheet
1A & 1B	Existing Conditions
2	Preliminary Plat Plan
3	Preliminary Easement Plan
4	Preliminary Grading Plan
5	Preliminary Erosion Control Plan
6	Preliminary Utility Plan
7	Preliminary Street Plan

PREPARED BY
 ENGINEER
SATHRE-BERGQUIST, INC.
 150 SOUTH BROADWAY
 WAYZATA, MINNESOTA 55391
 PHONE: (952) 476-6000
 FAX: (952) 476-0104
 CONTACTS:
 BOB MOLSTAD, P.E.
 EMAIL: MOLSTAD@SATHRE.COM
 ERIC R. JOHNSON, P.E.
 EMAIL: EJOHNSON@SATHRE.COM

PREPARED FOR
 DEVELOPER
NORTH OAKS COMPANY LLC
 5959 CENTERVILLE ROAD SUITE 200
 NORTH OAKS, MINN 55127
 CONTACT:
 LAUREN GROUWS
 PHONE: (651) 484-3361
 EMAIL: LAUREN@NORTHOAKS.COM

NOTES:
 SETBACKS
 FRONT YARD - 30FT MEASURED FROM ROADWAY EASEMENT
 SIDE YARD - 30 FT
 REAR YARD - 30FT
 WETLAND EDGE - 30FT
 STREET
 30FT ROADWAY EASEMENT
 12FT UTILITY EASEMENT ADJACENT TO ROADWAY EASEMENT
 STREET 24FT EDGE OF BITUMINOUS TO EDGE OF BITUMINOUS
 WITH 2FT GRAVEL SHOULDERS

- DENOTES PHASE 1 LOTS
- DENOTES PHASE 2 LOTS
- DENOTES PHASE 1 ROAD
- DENOTES PHASE 2 ROAD
- DENOTES PROPOSED SEPTIC AREA



DRAWING NAME	NO.	BY	DATE	REVISIONS
FINAL SHEETS				
DRAWN BY				
CHECKED BY				
DATE				
03/23/23				

USE (INCLUDING COPYING, DISTRIBUTION, AND/OR CONVEYANCE OF INFORMATION) OF THIS PRODUCT IS STRICTLY PROHIBITED WITHOUT SATHRE-BERGQUIST, INC.'S EXPRESS WRITTEN AUTHORIZATION. USE WITHOUT SAID AUTHORIZATION CONSTITUTES AN ILLEGITIMATE USE AND SHALL THEREBY INDEMNIFY SATHRE-BERGQUIST, INC. OF ALL RESPONSIBILITY. SATHRE-BERGQUIST, INC. RESERVES THE RIGHT TO HOLD ANY ILLEGITIMATE USER OR PARTY LEGALLY RESPONSIBLE FOR DAMAGES OR LOSSES RESULTING FROM ILLEGITIMATE USE.

I HEREBY CERTIFY THAT THIS PLAN OR SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
Eric R. Johnson
 ERIC R. JOHNSON, P.E.
 Date: 03/23/23 Lic. No. 56659

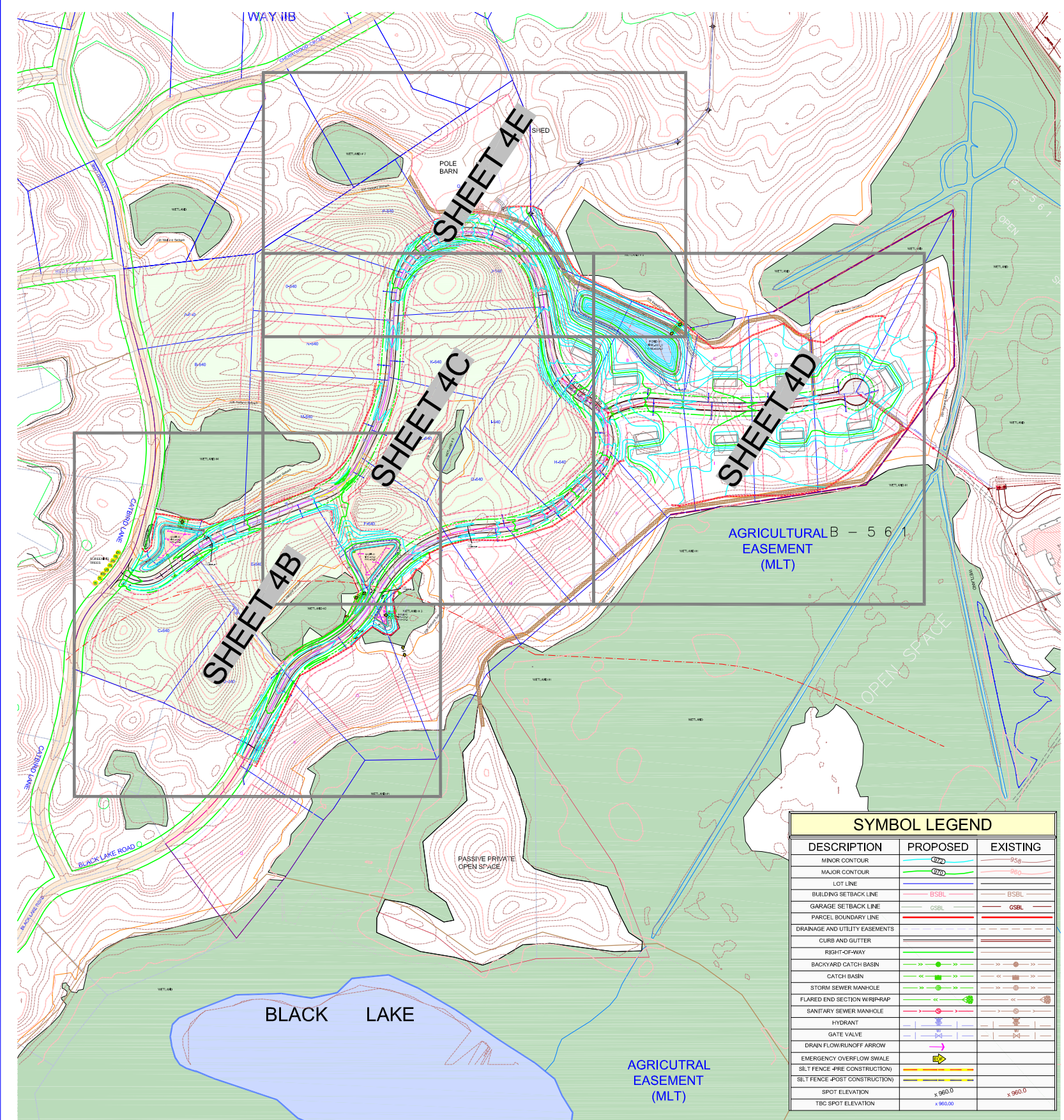
SATHRE-BERGQUIST, INC.
 14000 25TH AVE N STE 120 PLYMOUTH, MN, 55447 (952) 476-6000

CITY PROJECT NO.
NORTH OAKS, MINNESOTA

TITLE SHEET
RED FOREST WAY SOUTH
NORTH OAKS

FILE NO.
 64500-024
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EXISTING UTILITIES SHOWN ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY AND ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES ARISING OUT OF HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES.



- ### CONSTRUCTION NOTES
- INSTALL SILT FENCE AS SHOWN ON PLAN, AS REQUIRED BY THE CITY OF NORTH OAKS OR DIRECTED BY THE ENGINEER.
 - THE WATER QUALITY POND MUST BE EXCAVATED AT THE BEGINNING OF GRADING OPERATIONS TO PROVIDE TEMPORARY STORM WATER DETENTION DURING CONSTRUCTION. SAND AND SILT MUST BE REMOVED FROM THE POND AS NECESSARY DURING CONSTRUCTION AND AT THE COMPLETION OF THE PROJECT.
 - BEGIN GRADING, INSTALL PERFORATED RISER PIPE IN PONDS WHEN POND GRADING IS COMPLETE. TEMPORARY DRAINAGE PIPE SHALL BE USED FOR INTERMEDIATE DRAINAGE DURING THE CONSTRUCTION PERIOD AS NECESSARY AND DIRECTED BY THE ENGINEER. INSTALL SILT FENCE AROUND EXCAVATED PONDS.
 - INSPECT POND, SILT FENCE, AND ROCK ENTRANCE BERM AFTER ALL RAINFALL EVENTS AS REQUIRED BY THE NPDES PERMIT.
 - LINE ALL PONDS WITH A MINIMUM 6" ORGANIC SOILS & SEED SLOPES BETWEEN NWL AND 100 YR HWL WITH A WATER TOLERANT MIX. (OR AS NOTED)
 - REMOVE PERFORATED RISER PIPE WHEN STORM SEWER AND OUTLET STRUCTURE FOR PONDS ARE INSTALLED.
 - POND - 10:1 BENCH (1 FOOT) THEN 3:1 MAX
 - ALL OTHER SLOPES 4:1 MAX (UNLESS NOTED)
 - RESTORATION - 8.0 ACRES
 - RESTORE ALL DISTURBED AREAS WITH 4" TO 6" OF TOPSOIL, OR EXISTING ON-SITE ORGANIC MTL.
 - SEED POND SLOPES AND DETENTION AREAS WITH MNDOT 33-251 OR BWSR P8 SEED MIX AT A RATE OF 100 LBS./ACRE AND FERTILIZE WITH 20-0-10 AT 100 LBS./ACRE. SEED WETLAND BUFFER AREAS WITH MNDOT 350-MESIC PRAIRIE (36.5 PLS LBS/AC) OR BWSR 35-241 SEED MIX AND FERTILIZE WITH 20-0-10 AT 100 LBS./ACRE. (REFER TO WETLAND CREATION/BANKING PLAN FOR WETLAND SEED MIX REQUIREMENTS).
 - SEED ALL OTHER DISTURBED AREAS WITH MNDOT 25-141 AT A RATE OF 100 LBS./ACRE AND FERTILIZE WITH 20-0-10 AT 100 LBS./ACRE. (UNLESS OTHERWISE NOTED)
 - ONLY PHOSPHOROUS FREE FERTILIZER IS TO BE USED ON SITE.
 - MULCH WITH TYPE 1 AT A RATE OF 2 TONS/ACRE AND DISC ANCHOR IMMEDIATELY AFTER PLACEMENT. USE WOODFIBER BLANKET ON ALL SLOPES 3:1 (FT) OR GREATER.
 - PLACE APPROVED STORM SEWER INLET PROTECTION IN OR AROUND ALL STORM SEWER INLETS AND MAINTAIN UNTIL ALL HOME CONSTRUCTION IS COMPLETED. REFER TO DETAILS FOR APPROVED DEVICES.
 - MAINTAIN ALL SILT FENCE UNTIL TURF HAS BEEN ESTABLISHED.
 - RESTORATION WORK WILL BE COMPLETED WITHIN 72 HOURS OF GRADING COMPLETION.
 - SILT FENCE - BEFORE GRADING - 8,635 LF
AFTER GRADING - 1,500 LF
 - EROSION BLANKET - 100 SF

- ### CONSTRUCTION SEQUENCING
- INSTALL APPROPRIATE TEMPORARY EROSION CONTROL DEVICES TO PREVENT SEDIMENT FROM LEAVING OR ENTERING THE PRACTICE DURING CONSTRUCTION.
 - ALL DOWN-GRADE PERIMETER SEDIMENT CONTROL BMP'S MUST BE IN PLACE BEFORE ANY UP GRADIENT LAND DISTURBING ACTIVITY BEGINS.
 - PERFORM CONTINUOUS INSPECTIONS OF EROSION CONTROL PRACTICES, ESPECIALLY AFTER EACH RAINFALL EVENT. ALL REPAIRS TO BE COMPLETED WITHIN 24 HOURS OF 0.5" RAIN EVENT.
 - INSTALL ALL UTILITIES (ELECTRIC, NATURAL GAS, PHONE, FIBER OPTIC, ETC) PRIOR TO SETTING FINAL GRADE OF INFILTRATION BASIN.
 - INFILTRATION AREAS ARE NOT ALLOWED TO BE USED AS TEMPORARY SEDIMENT BASINS.
 - COMPLETE, STABILIZE, AND VEGETATE ALL OTHER SITE IMPROVEMENTS.
 - ONLY AFTER UPSTREAM CONSTRUCTION IS COMPLETED, CAN THE INFILTRATION BASIN BE CONSTRUCTED TO FINAL GRADE. ONCE GRADING IS COMPLETED, INSTALL FILTER TOPSOIL BORROW AND VEGETATE IN ACCORDANCE WITH THE RESTORATION PLAN.
 - MNDOT FILTER TOPSOIL BORROW SHALL BE TILLED AFTER INSTALLATION IN THE BASIN TO REDUCE COMPACTION DURING INSTALLATION.
 - REMOVE TEMPORARY EROSION CONTROL DEVICES AFTER THE CONTRIBUTING DRAINAGE AREA IS ADEQUATELY VEGETATED.

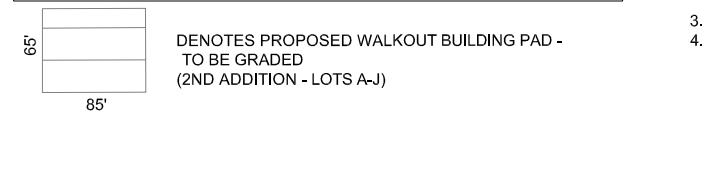
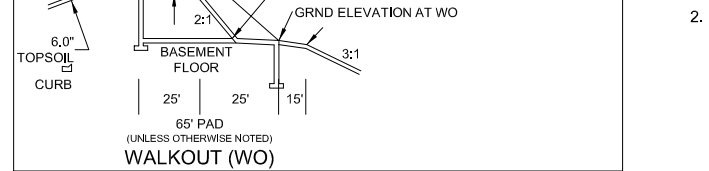
FILTRATION BASIN NOTES

1. The location of the basin shall be set 2' below the finished final grade.
2. The basin shall be constructed after the storm sewer outlet control structure is installed.
3. The basin shall be constructed using a minimum of 12" of compacted subgrade.
4. The bottom of the basin shall be set at a minimum of 12" below the subgrade.
5. The basin shall be constructed using a minimum of 12" of compacted subgrade.
6. The basin shall be constructed using a minimum of 12" of compacted subgrade.
7. The basin shall be constructed using a minimum of 12" of compacted subgrade.
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11. The basin shall be constructed using a minimum of 12" of compacted subgrade.
12. The basin shall be constructed using a minimum of 12" of compacted subgrade.

TYPICAL FILTRATION BASIN DETAIL

BASIN	TOP OF SAND	BOTTOM OF SAND
1	937.0	935.6-935.8
2	937.0	935.6-935.8
3	936.0	934.0-934.3

*NOTE - BOTTOM OF SAND ELEVATIONS VARY TO ALLOW POSITIVE DRAINAGE TO OUTLET STRUCTURE



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*SITE TO BE WALKED WITH CITY FORESTER TO DETERMINE FINAL TREE REMOVALS

*NOTE - EXISTING TREES SHOWN ARE NOT ALL EXISTING TREES WITHIN SITE AREA - TREES WERE SHOT DURING ONSITE FIELD VISIT

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Eric R. Johnson
ERIC R. JOHNSON, P.E.
Date: 03/23/23 Lic. No. 56659

ENGINEERS SURVEYORS PLANNERS

SATHRE-BERGQUIST, INC.
14000 25TH AVE N STE 120 PLYMOUTH, MN, 55447 (952) 476-6000

CITY PROJECT NO. ---

NORTH OAKS, MINNESOTA

FILE NO. 64500-024

PRELIMINARY PLAT / GRADING PLAN

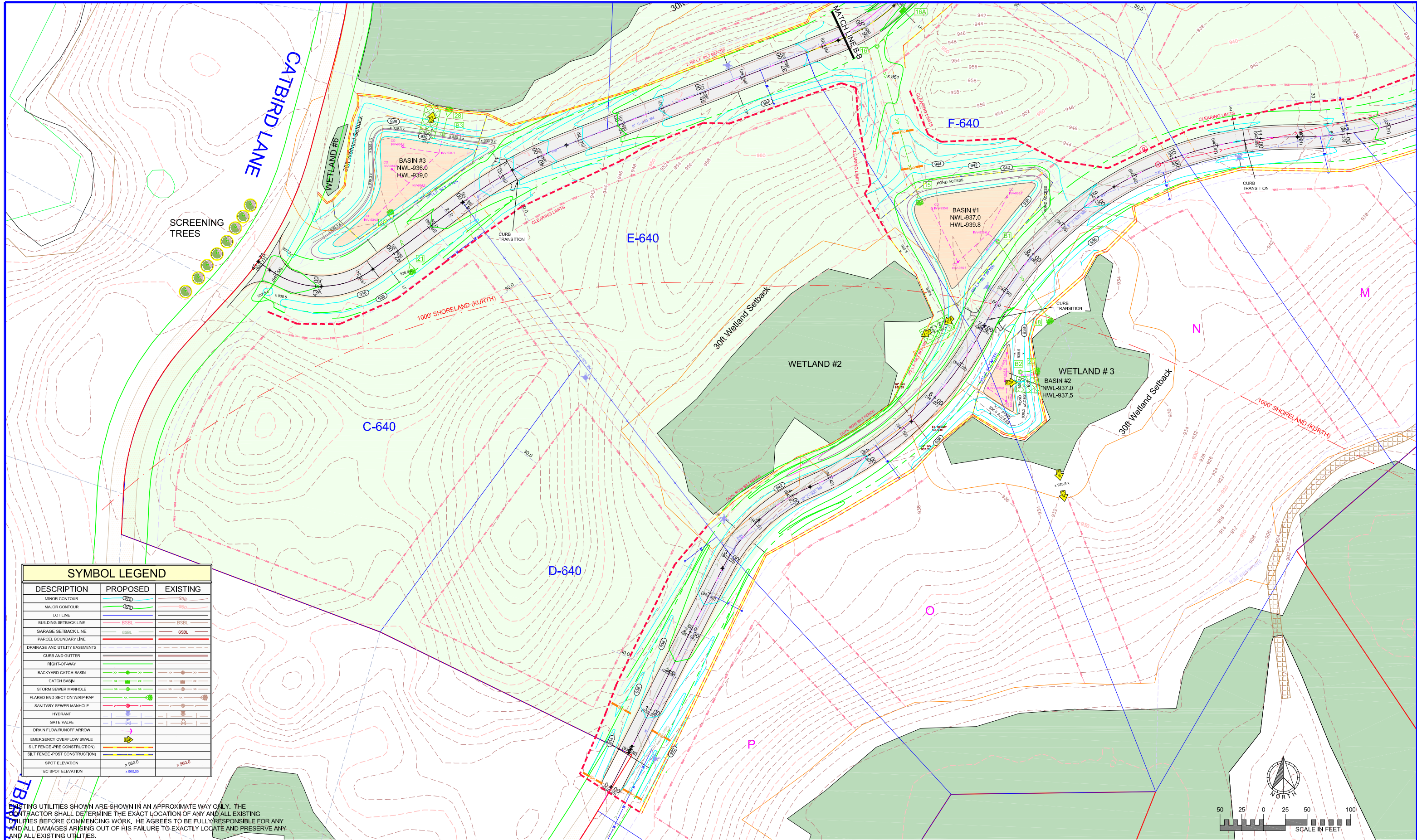
RED FOREST WAY SOUTH

NORTH OAKS

4A

SCALE IN FEET

7 61



SYMBOL LEGEND		
DESCRIPTION	PROPOSED	EXISTING
MINOR CONTOUR		
MAJOR CONTOUR		
LOT LINE		
BUILDING SETBACK LINE		
GARAGE SETBACK LINE		
PARCEL BOUNDARY LINE		
DRAINAGE AND UTILITY EASEMENTS		
CURB AND GUTTER		
RIGHT-OF-WAY		
BACKYARD CATCH BASIN		
CATCH BASIN		
STORM SEWER MANHOLE		
FLARED END SECTION WRIP-RAP		
SANITARY SEWER MANHOLE		
HYDRANT		
GATE VALVE		
DRAIN FLOW/RUNOFF ARROW		
EMERGENCY OVERTFLOW SWALE		
SILT FENCE (PRE CONSTRUCTION)		
SILT FENCE (POST CONSTRUCTION)		
SPOT ELEVATION		
T&E SPOT ELEVATION		

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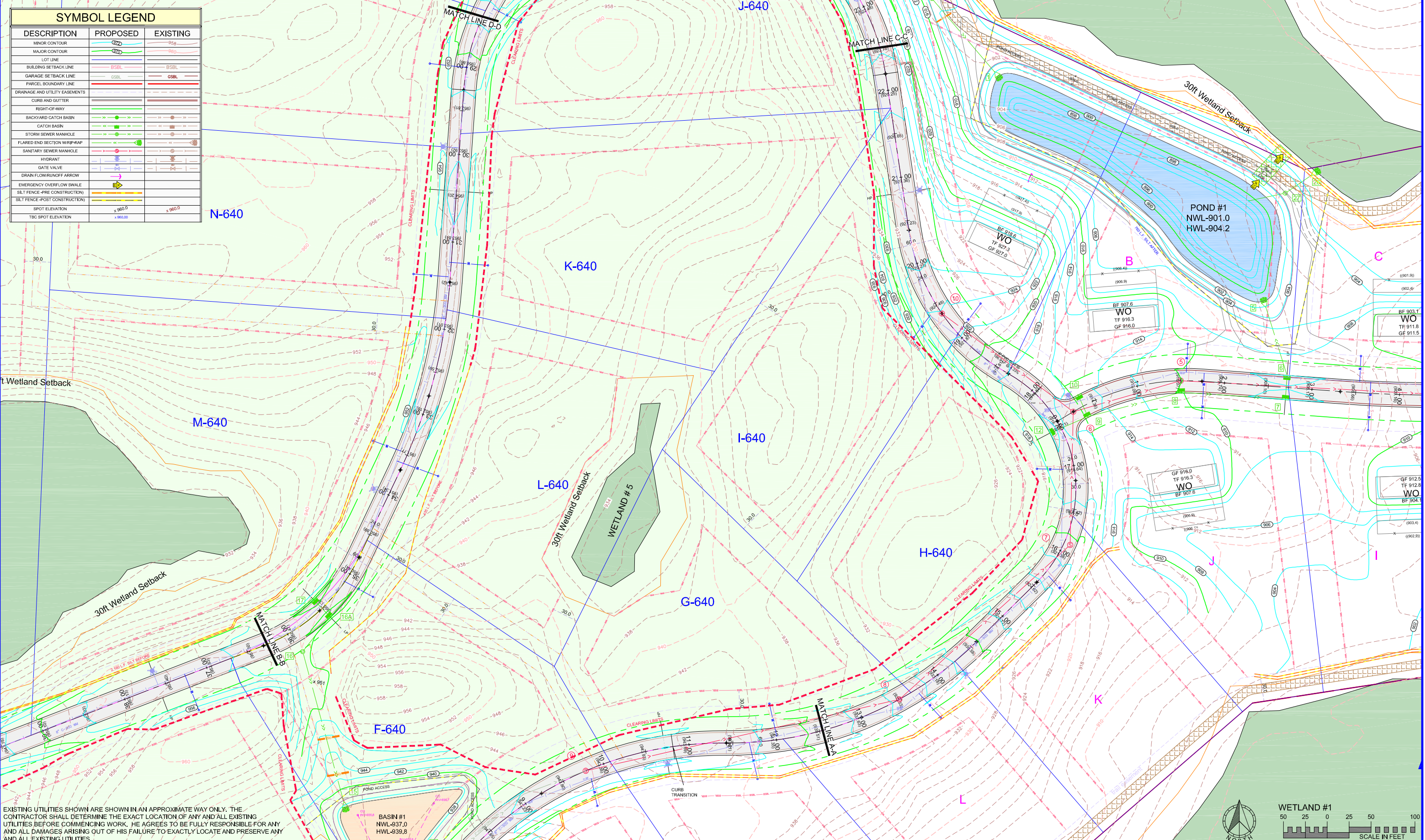
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NORTH OAKS, MINNESOTA

PRELIMINARY GRADING PLAN
RED FOREST WAY SOUTH
NORTH OAKS

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SYMBOL LEGEND		
DESCRIPTION	PROPOSED	EXISTING
MINOR CONTOUR		
MAJOR CONTOUR		
LOT LINE		
BUILDING SETBACK LINE		
GARAGE SETBACK LINE		
PARCEL BOUNDARY LINE		
DRAINAGE AND UTILITY EASEMENTS		
CURB AND GUTTER		
RIGHT-OF-WAY		
BACKYARD CATCH BASIN		
CATCH BASIN		
STORM SEWER MANHOLE		
FLARED END SECTION WRAP-RAP		
SANITARY SEWER MANHOLE		
HYDRANT		
GATE VALVE		
DRAIN FLOW/RUNOFF ARROW		
EMERGENCY OVERFLOW SWALE		
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SPOT ELEVATION		
TBC SPOT ELEVATION		



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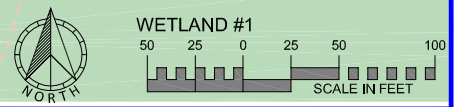
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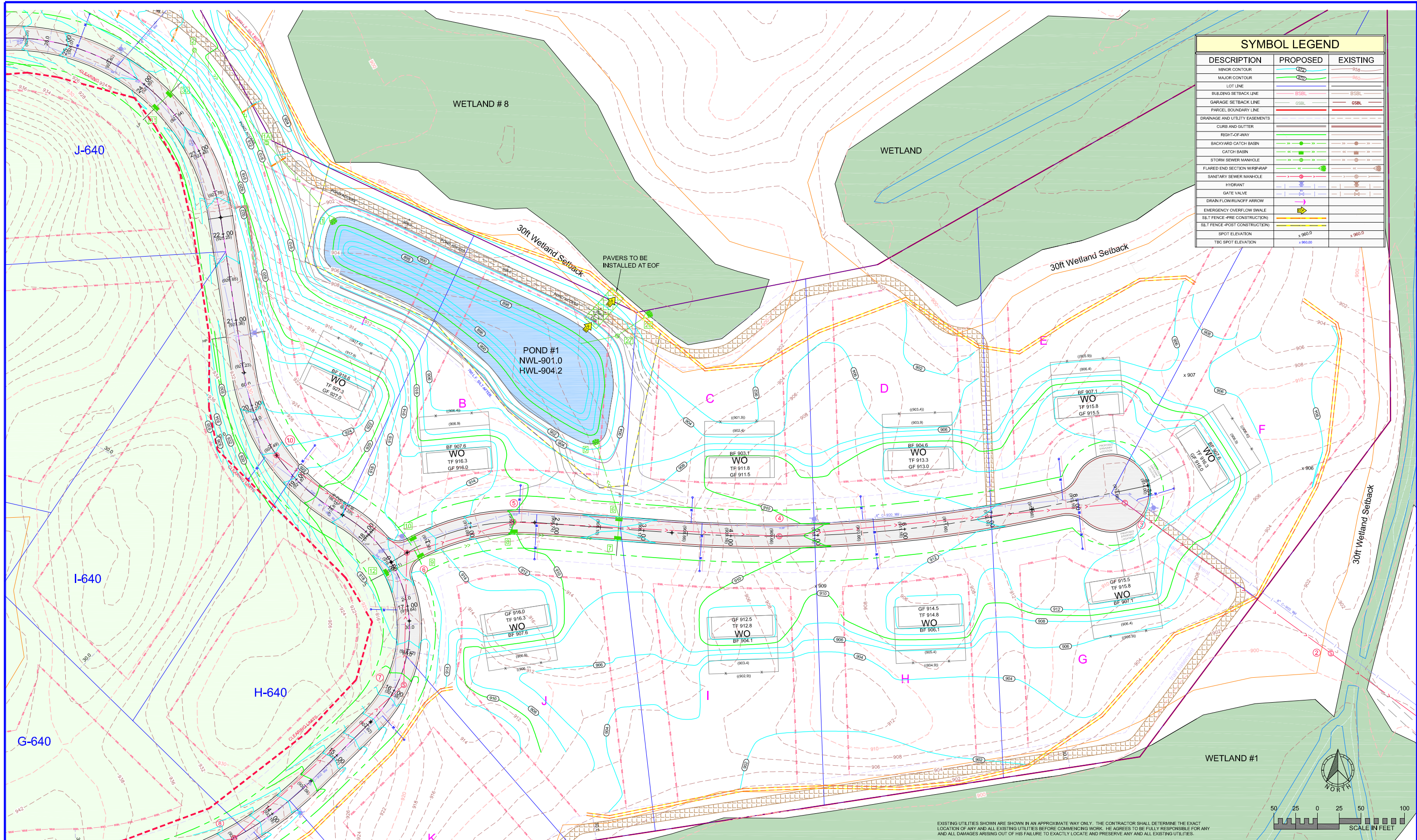
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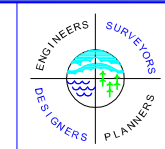


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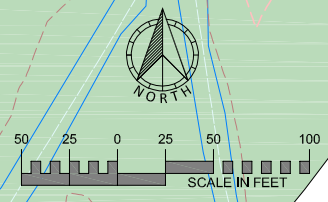
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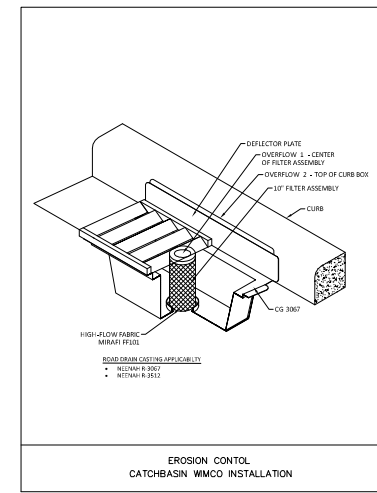
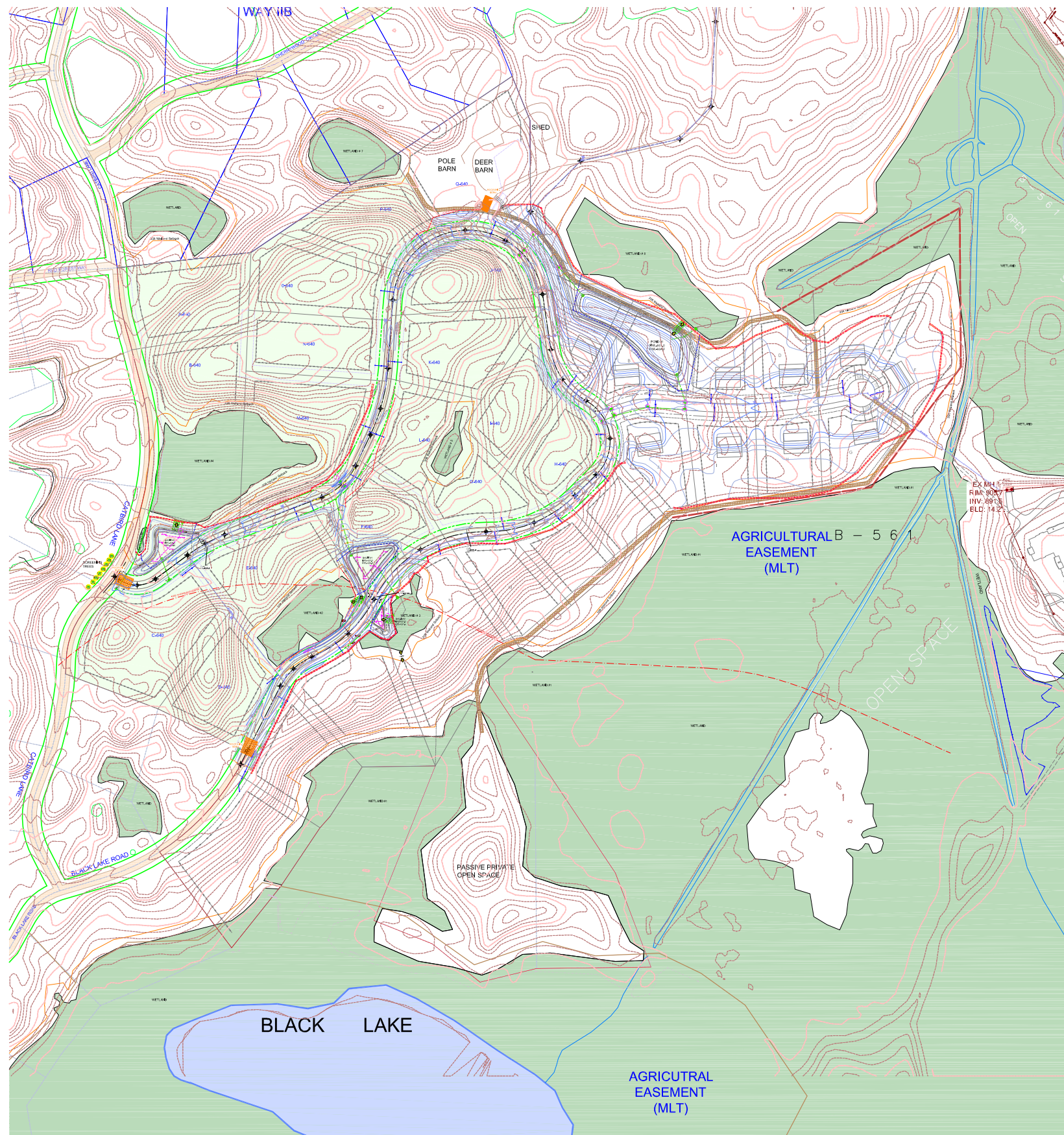
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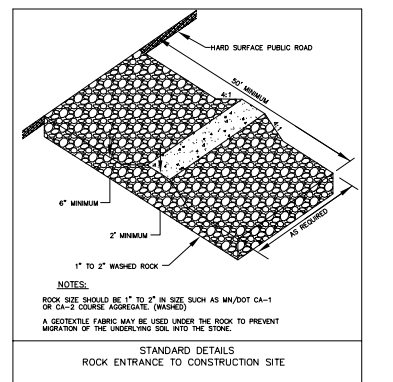
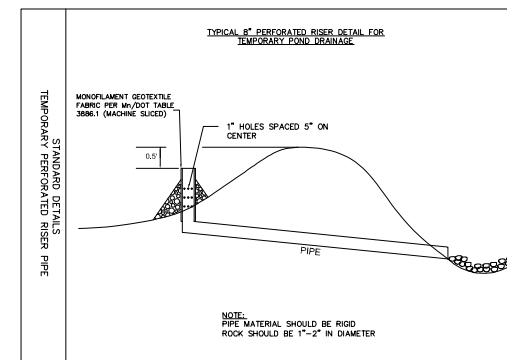
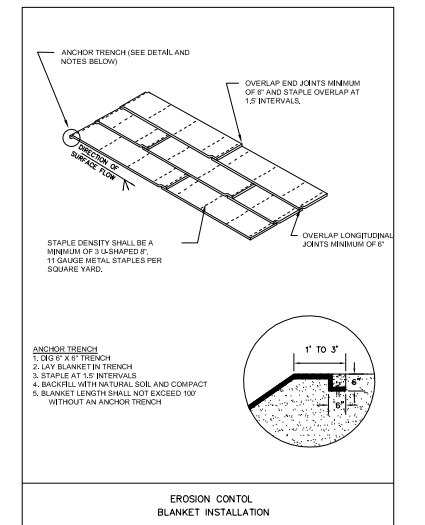
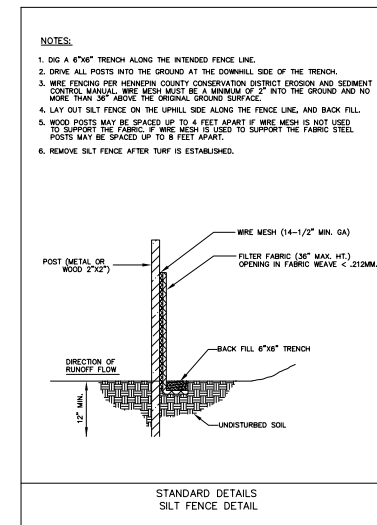
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- ROCK ENTRANCE BERM
- SILT FENCE
- POST GRADING SILT FENCE
- BIO-ROLL
- CONCRETE WASHOUT
- INLET PROTECTION
- WOODFIBER BLANKET
- DENOTES PROPOSED CLEARING LIMITS



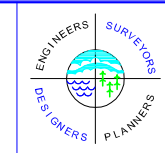
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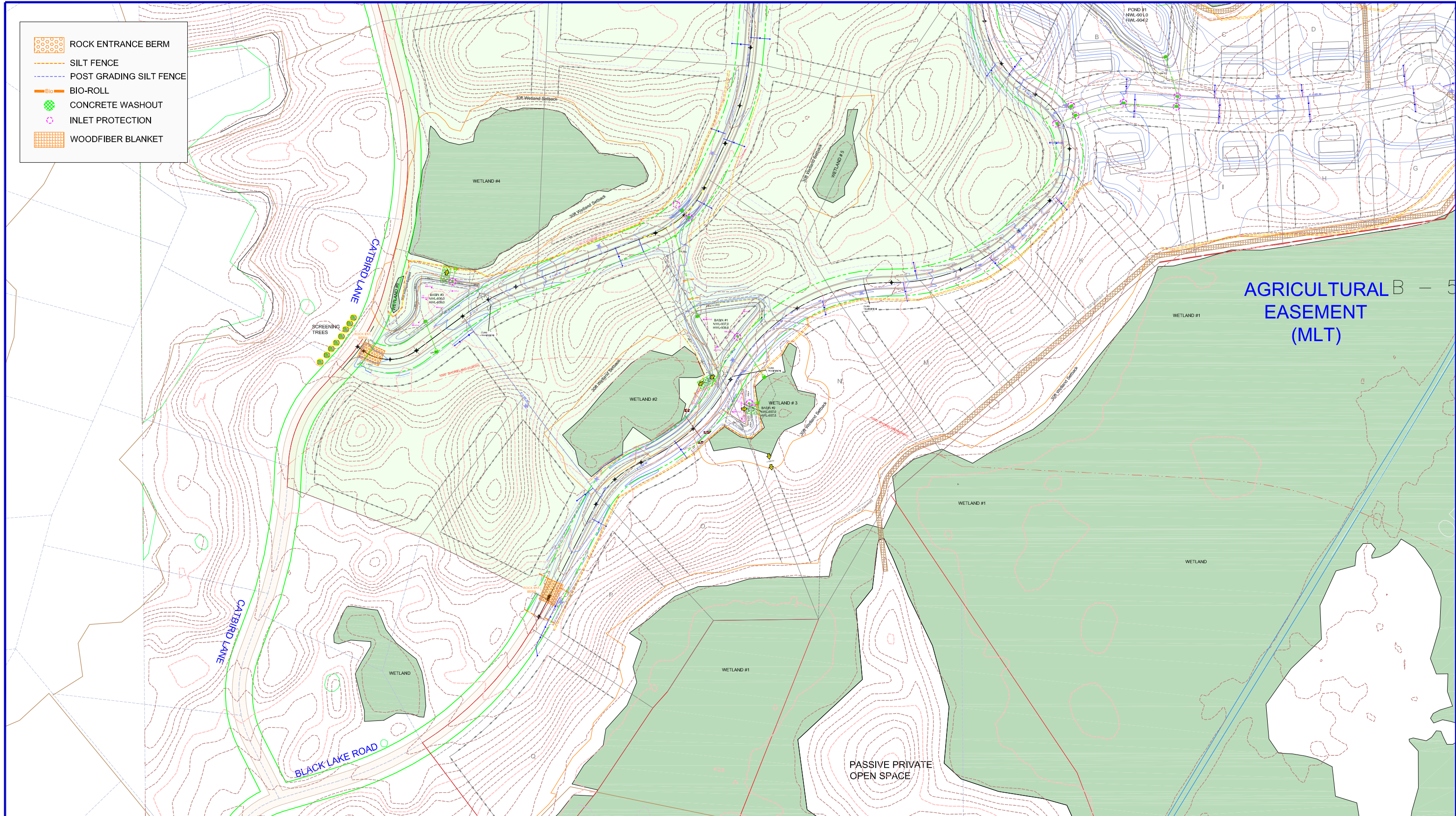
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PRELIMINARY EROSION CONTROL PLAN
 RED FOREST WAY SOUTH
 NORTH OAKS

FILE NO. 64500-024
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-  ROCK ENTRANCE BERM
-  SILT FENCE
-  POST GRADING SILT FENCE
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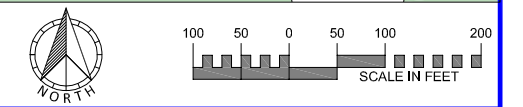


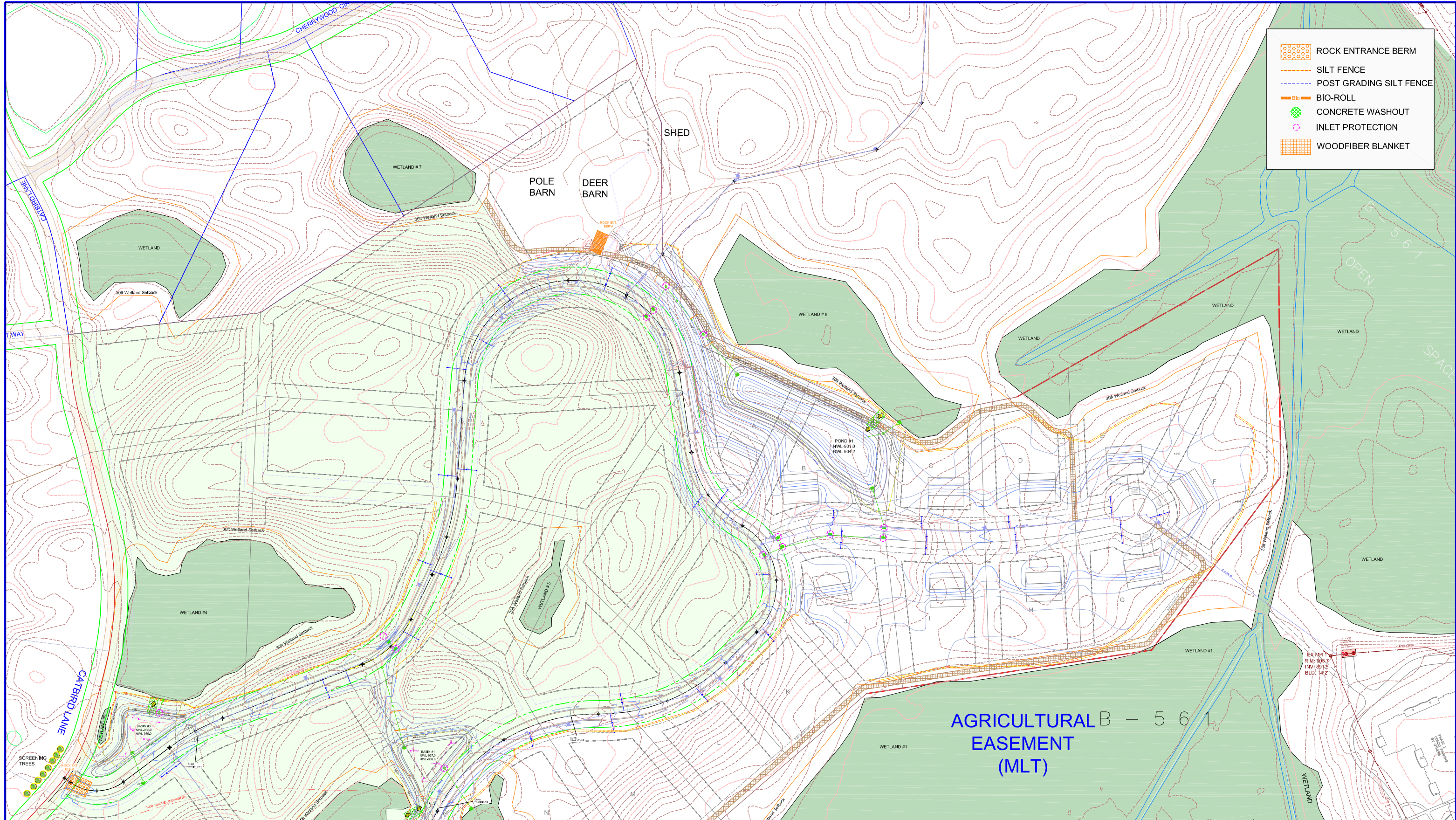
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**AGRICULTURAL B - 5 6 1
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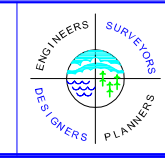
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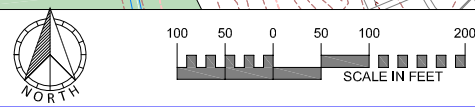


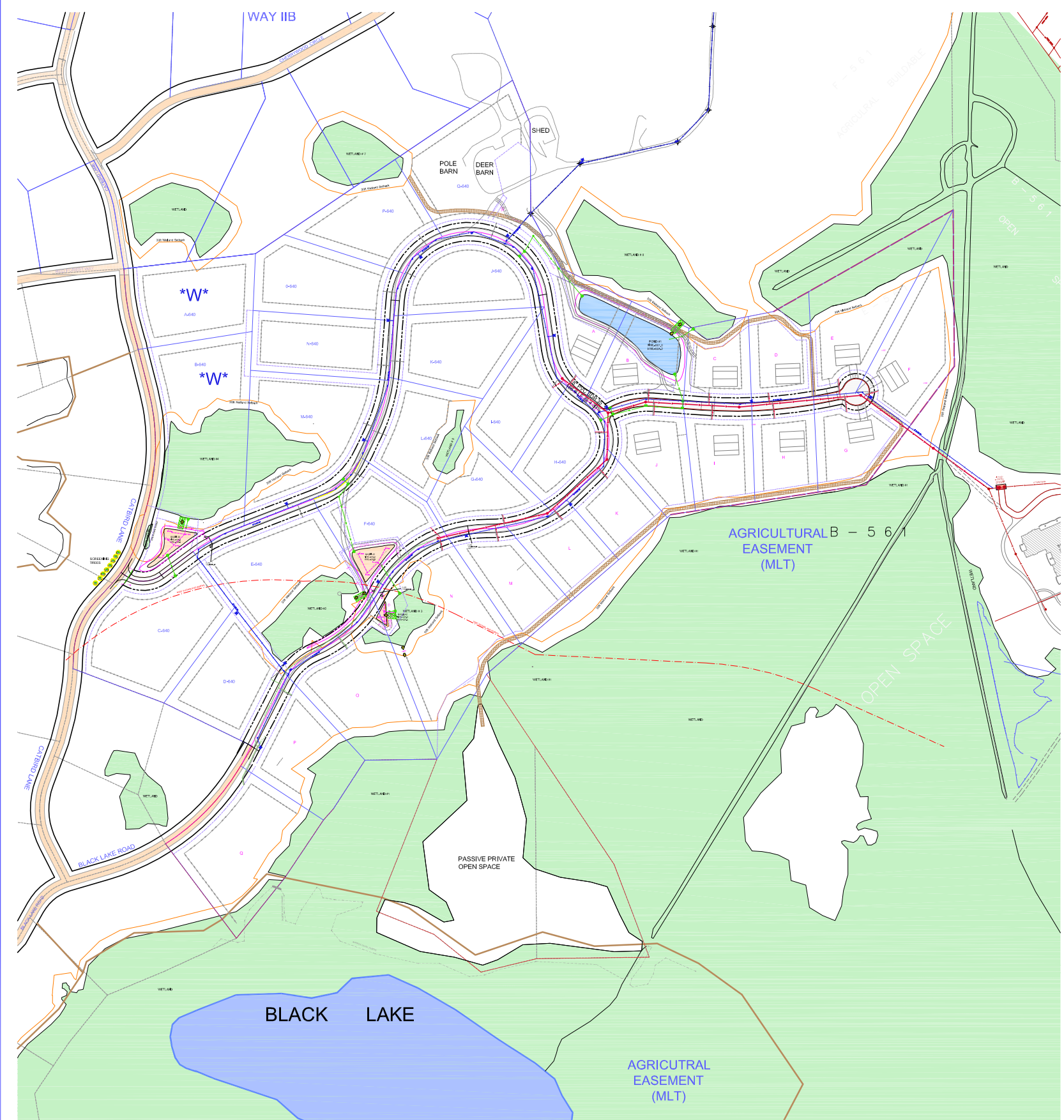
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**NORTH OAKS,
MINNESOTA**

PRELIMINARY EROSION CONTROL PLAN
RED FOREST WAY SOUTH
NORTH OAKS

FILE NO.
64500-024
5C
7 67



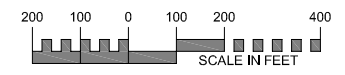


LEGEND		
DESCRIPTION	PROPOSED	EXISTING
BUILDING SETBACK LINE	BSBL	BSBL
GARAGE SETBACK LINE	GSBL	GSBL
PARCEL BOUNDARY LINE		
DRAINAGE AND UTILITY EASEMENTS		
CURB AND GUTTER		
ROADWAY EASEMENT		
SANWWM SERVICE		
BACKYARD CATCH BASIN		
CATCH BASIN		
STORM SEWER MANHOLE		
FLARED END SECTION WRIP-RAP		
STORM STRUCTURE LABEL	CB H3	CB H3
SANITARY STRUCTURE LABEL		
SANITARY SEWER MANHOLE		
WATERMAIN		
HYDRANT		
GATE VALVE		

SANITARY SEWER AND WATERMAIN NOTES:

- ALL HYDRANT BENCHMARKS ARE TOP NUT OF HYDRANT.
- WYE LOCATIONS TO BE SUPPLIED & VERIFIED BY CONTRACTORS. WYE STATIONING IS CALCULATED FROM THE DOWN STREAM MANHOLES.
- ALL TIES AND DISTANCES ARE TO THE CENTER OF SURFACE STRUCTURES.
- ALL HYDRANTS AND HYDRANT GATE VALVES ARE RETAINED AND TIED BACK TO THE WATERMAIN TEE BY MEANS OF APPROVED MEGALUGS UNLESS OTHERWISE NOTED.
- ALL SEWER SERVICES ARE LOCATED 3 FEET DOWNSTREAM OF WATER SERVICES IF SEWER AND WATER ARE IN THE SAME TRENCH.
- ALL SEWER AND WATER SERVICES ARE EXTENDED TO THE EASEMENT UNLESS NOTED.
- ALL VALVES ON THE WATERMAIN FOR THIS PROJECT SHALL BE GATE VALVES. NO BUTTERFLY VALVES SHALL BE USED ON THE WATERMAIN FOR THIS PROJECT. POLY WRAP ENTIRE VALVE.
- INSTALL HYDRANTS 5' BEHIND CURB (TYPICAL).
 - POLY WRAP ALL HYDRANT BARRELS
 - BAG ALL HYDRANTS UNTIL THEY ARE TESTED AND PUT IN SERVICE.
- ALL 4"-12" WATERMAIN SHALL BE PVC C900 UNLESS OTHERWISE NOTED
- MECHANICAL BALLS SHALL BE INSTALLED IN SANITARY SEWER AT CONNECTION POINTS FOLLOWING INSTALLATION OF PIPE TO PROTECT EXISTING LINES FROM DEBRIS, & SEDIMENT INFILTRATION. BALLS SHALL REMAIN UNTIL LINES ARE TESTED & ACCEPTED BY THE CITY.
- THE CONTRACTOR SHALL CONTACT THE WHITE BEAR TOWNSHIP & CITY OF NORTH OAKS AT LEAST 48 HOURS PRIOR TO ANY PUBLIC SEWER/WATERMAIN CONNECTION.
- ALL SANITARY SEWER MANHOLE ADJUSTING RINGS INSTALLATIONS SHALL HAVE POLYMER II BARRIERS IS TO BE INFI-SHEILD MASTIC WRAP OR APPROVED EQUAL INSTALLED.
- CONCRETE ADJUSTING RINGS SHALL BE USED ON ALL MANHOLES AND CATCH BASINS.
- ALL BELOW GRADE BOLTS, T-BOLTS, NUTS AND RODDING SHALL BE ASTM F 593 TYPE 316 STAINLESS STEEL. THIS APPLIES TO ALL FITTINGS, GATE VALVES, AND HYDRANTS.
- SANITARY SERVICES SHALL BE 4" PVC SDR 26 WITH TRACER WIRE. RISERS SHALL BE 4" SCH 40 OR DIP
- ALL FITTINGS SHALL BE DIP COMPACT FITTINGS WITH STAINLESS STEEL BOLTS AND POLY WRAPPED.

W DENOTES LOT WITH WELL



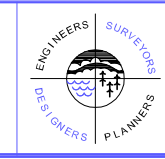
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Eric R. Johnson
 ERIC R. JOHNSON, P.E.
 Date: 03/23/23 Lic. No. 56659



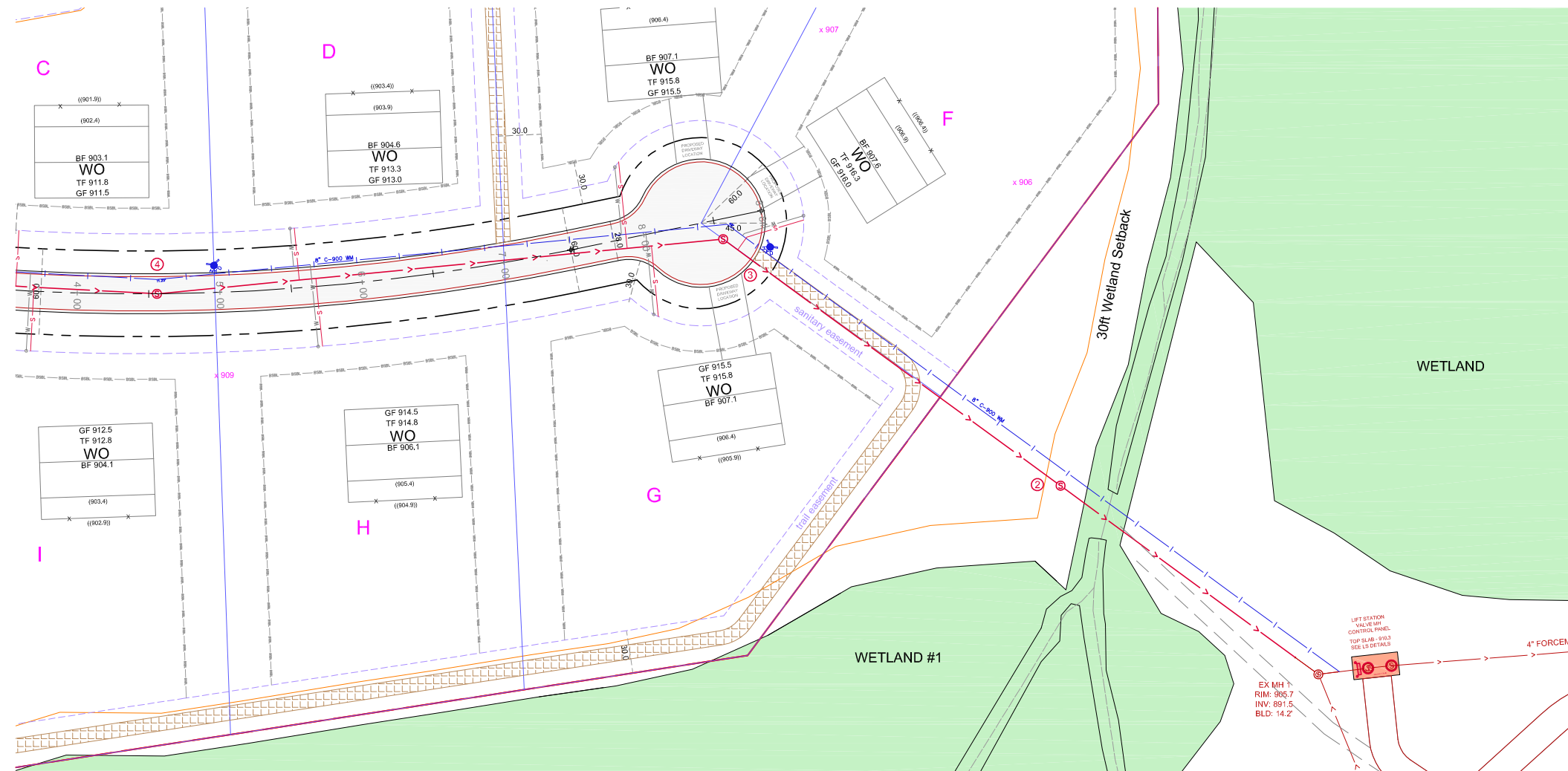
SATHRE-BERGQUIST, INC.
 14000 25TH AVE N STE 120 PLYMOUTH, MN. 55447 (952) 476-6000

CITY PROJECT NO.

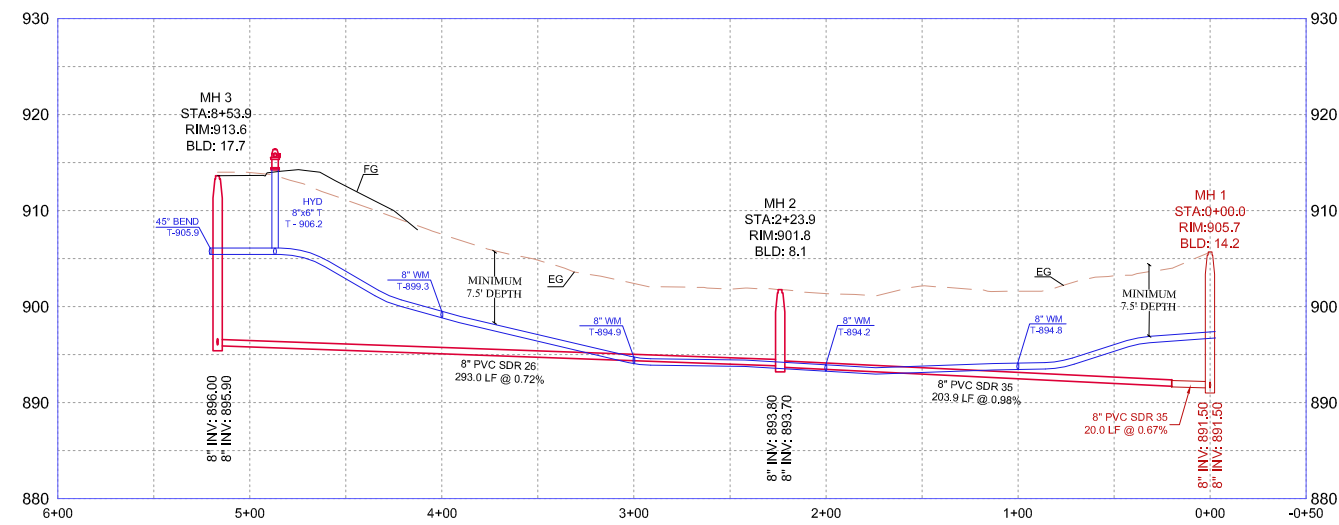
NORTH OAKS, MINNESOTA

PRELIMINARY SANITARY SEWER & WATERMAIN PLAN
RED FOREST WAY SOUTH
NORTH OAKS

FILE NO.
 64500-024
6A
 7 68



LEGEND		
DESCRIPTION	PROPOSED	EXISTING
BUILDING SETBACK LINE	BSBL	BSBL
GARAGE SETBACK LINE	GSBL	GSBL
PARCEL BOUNDARY LINE		
DRAINAGE AND UTILITY EASEMENTS		
CURB AND GUTTER		
ROADWAY EASEMENT		
SAN/WM SERVICE		
BACKYARD CATCH BASIN		
CATCH BASIN		
STORM SEWER MANHOLE		
FLARED END SECTION WRIP-RAP		
STORM STRUCTURE LABEL	(CB H3)	(CB H3)
SANITARY STRUCTURE LABEL	(MH)	(MH)
SANITARY SEWER MANHOLE		
WATERMAIN		
HYDRANT		
GATE VALVE		



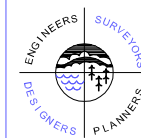
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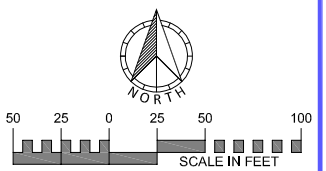
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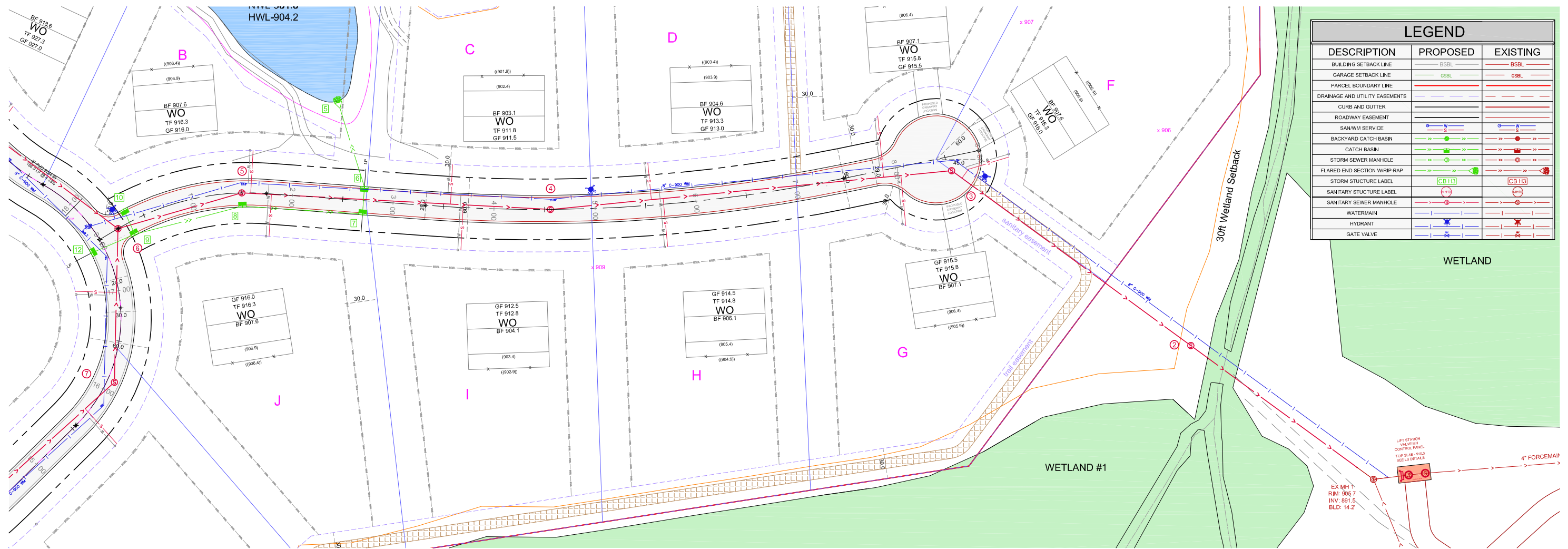
CITY PROJECT NO.
 NORTH OAKS,
 MINNESOTA

PRELIMINARY SANITARY SEWER &
 WATERMAIN PLAN
 RED FOREST WAY SOUTH
 NORTH OAKS

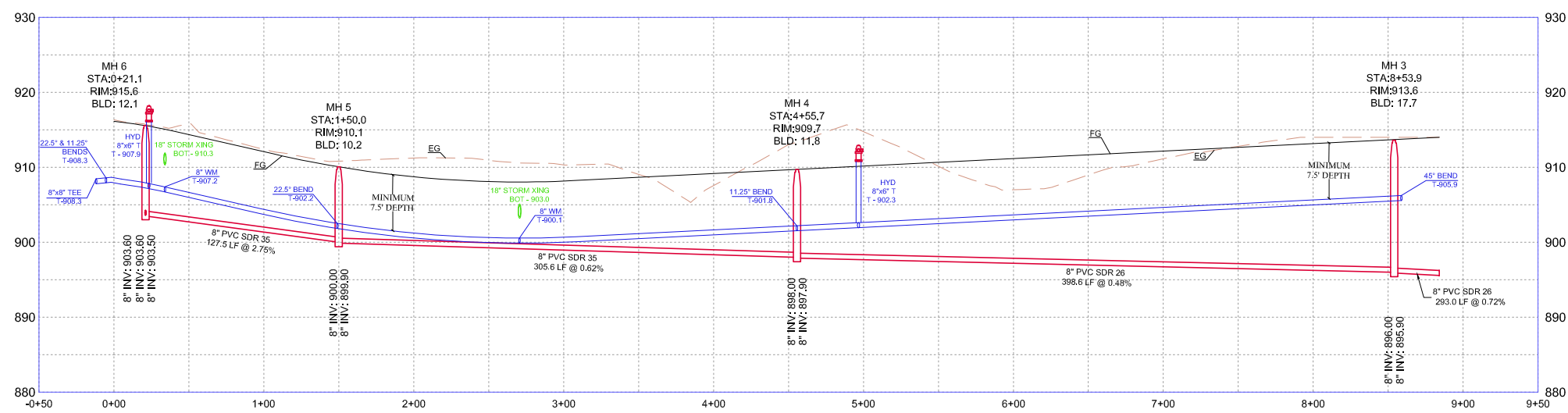
FILE NO.
 64500-024

6B





DESCRIPTION	PROPOSED	EXISTING
BUILDING SETBACK LINE	BSBL	BSBL
GARAGE SETBACK LINE	GSBL	GSBL
PARCEL BOUNDARY LINE	PSBL	PSBL
DRAINAGE AND UTILITY EASEMENTS		
CURB AND GUTTER		
ROADWAY EASEMENT		
SANITARY SERVICE		
BACKYARD CATCH BASIN		
CATCH BASIN		
STORM SEWER MANHOLE		
FLARED END SECTION WRIP-RAP		
STORM STRUCTURE LABEL	CB H3	CB H3
SANITARY STRUCTURE LABEL		
SANITARY SEWER MANHOLE		
WATERMAIN		
HYDRANT		
GATE VALVE		



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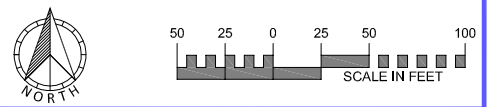
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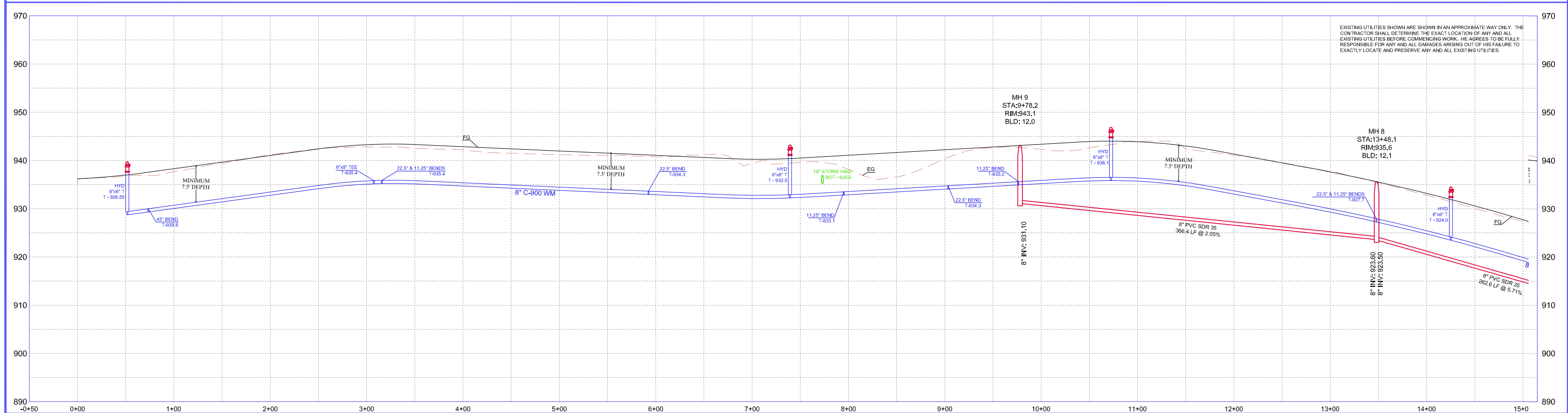
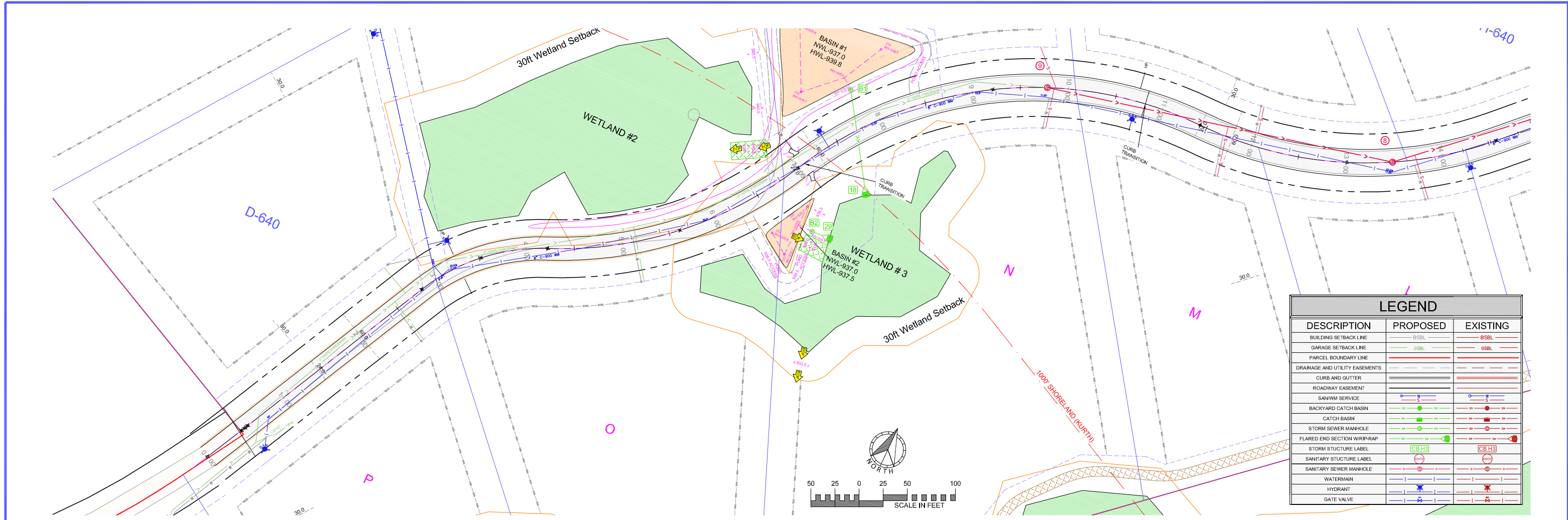
ENGINEERS SURVEYORS
 DESIGNERS PLANNERS

CITY PROJECT NO. ---
NORTH OAKS, MINNESOTA

PRELIMINARY SANITARY SEWER & WATERMAIN PLAN
RED FOREST WAY SOUTH
NORTH OAKS



FILE NO. 64500-024
6C
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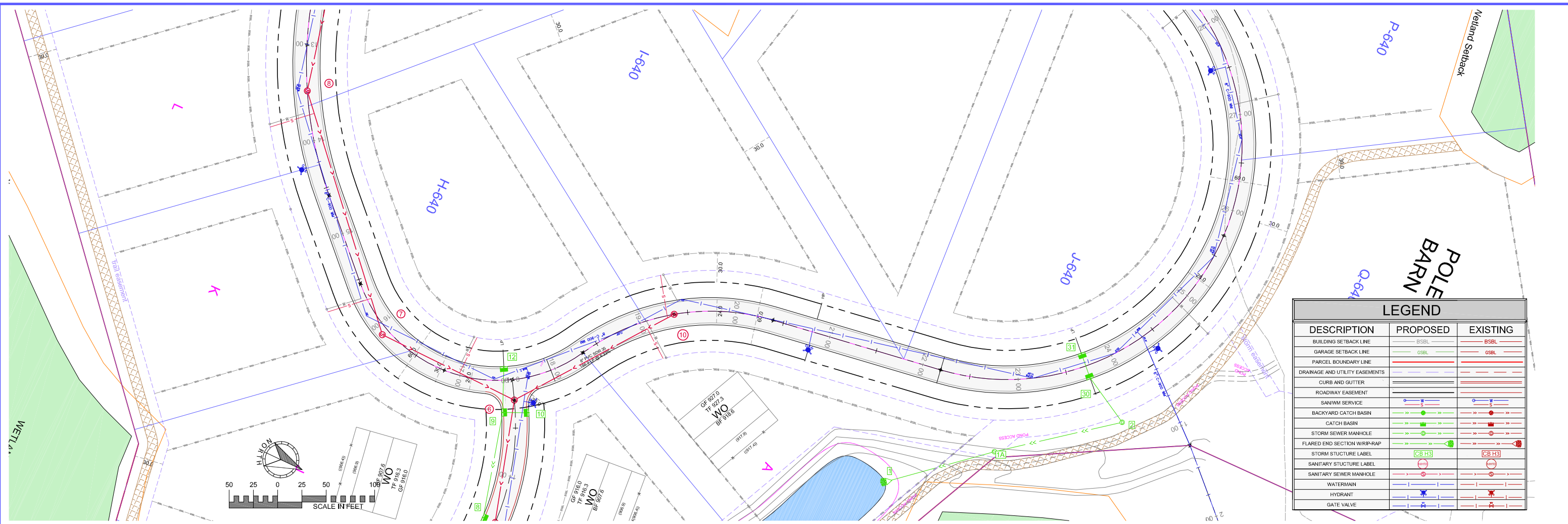
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PRELIMINARY SANITARY SEWER & WATERMAIN PLAN
RED FOREST WAY SOUTH
NORTH OAKS

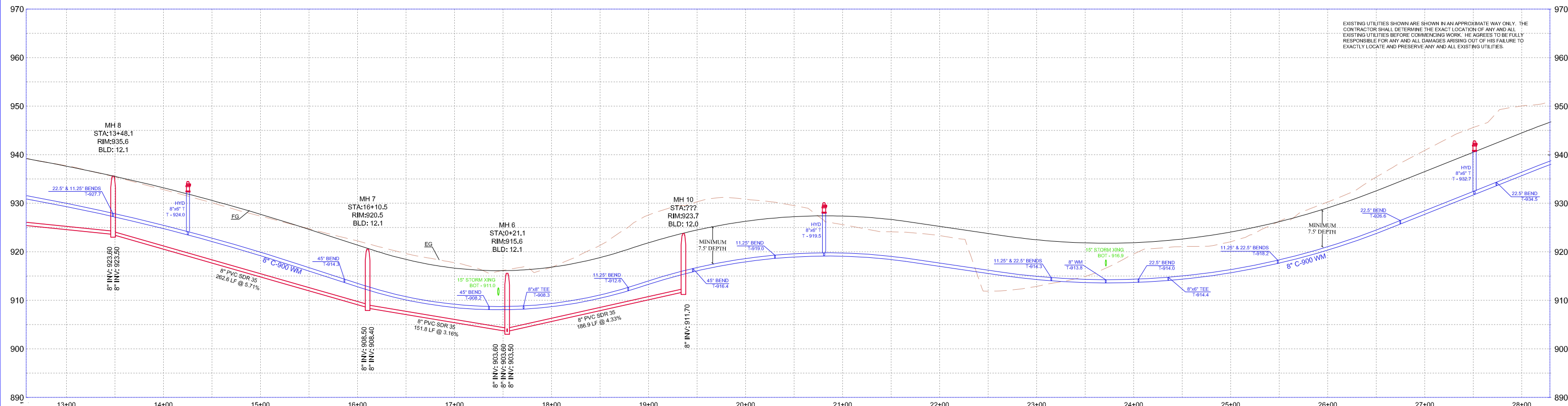
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LEGEND		
DESCRIPTION	PROPOSED	EXISTING
BUILDING SETBACK LINE	BSBL	BSBL
GARAGE SETBACK LINE	GSBL	GSBL
PARCEL BOUNDARY LINE		
DRAINAGE AND UTILITY EASEMENTS		
CURB AND GUTTER		
ROADWAY EASEMENT		
SANWM SERVICE		
BACKYARD CATCH BASIN		
CATCH BASIN		
STORM SEWER MANHOLE		
FLARED END SECTION WRIR-RAP		
STORM STRUCTURE LABEL	(CB H)	(CB H)
SANITARY STRUCTURE LABEL		
SANITARY SEWER MANHOLE		
WATERMAIN		
HYDRANT		
GATE VALVE		



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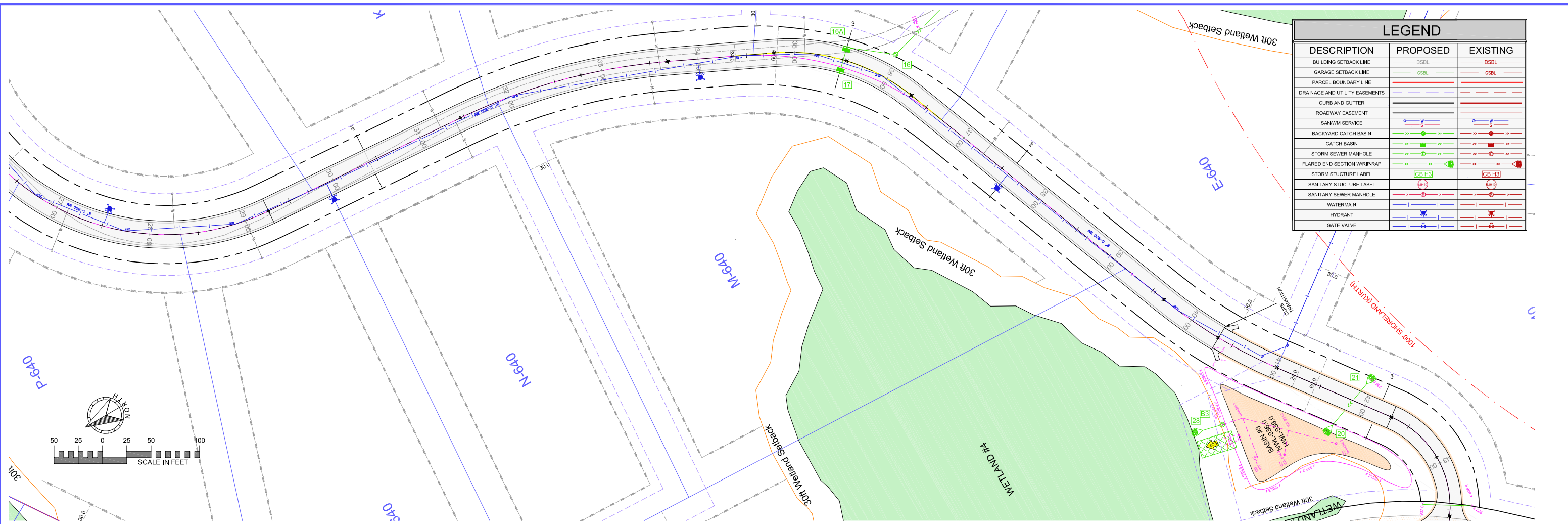
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PRELIMINARY SANITARY SEWER & WATERMAIN PLAN
RED FOREST WAY SOUTH
NORTH OAKS

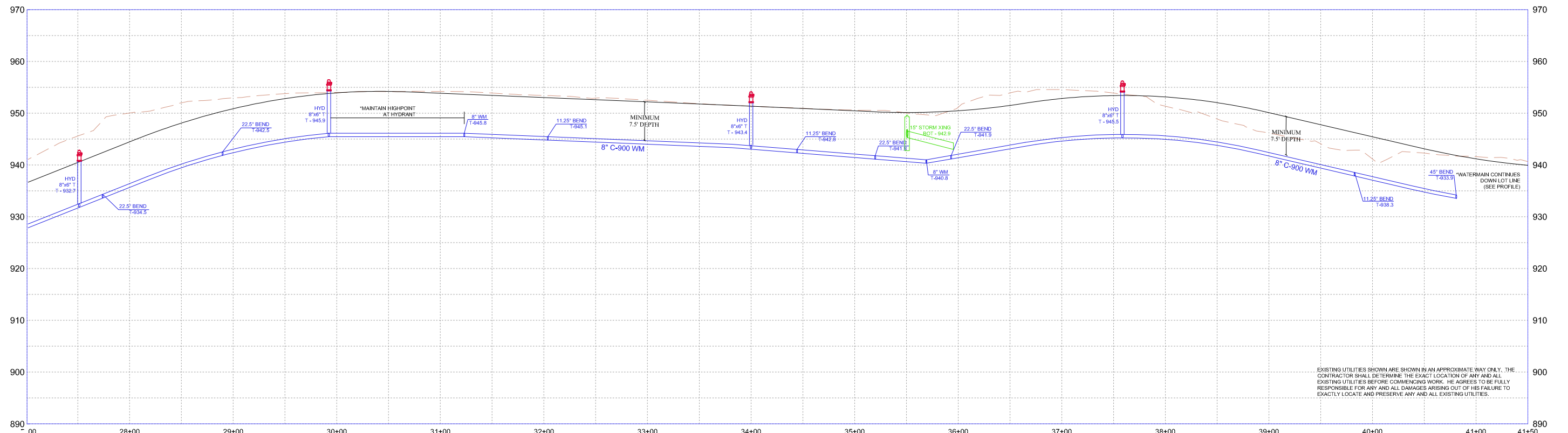
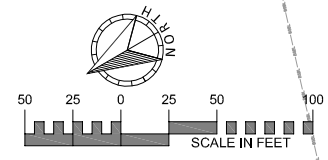
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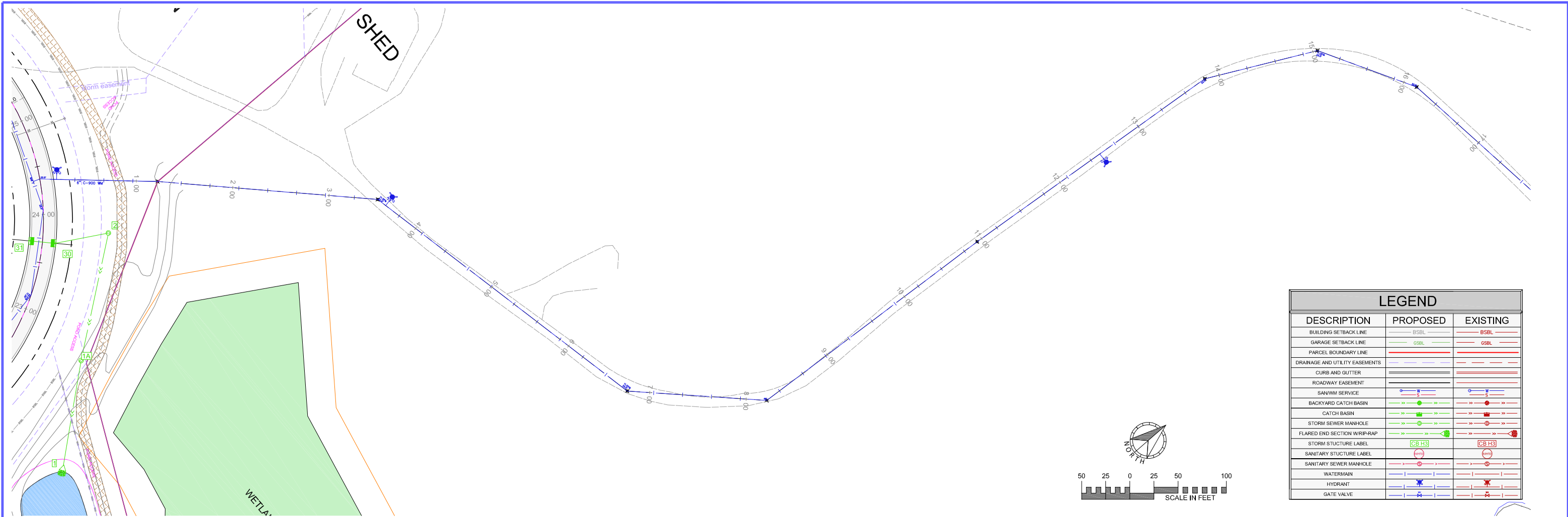
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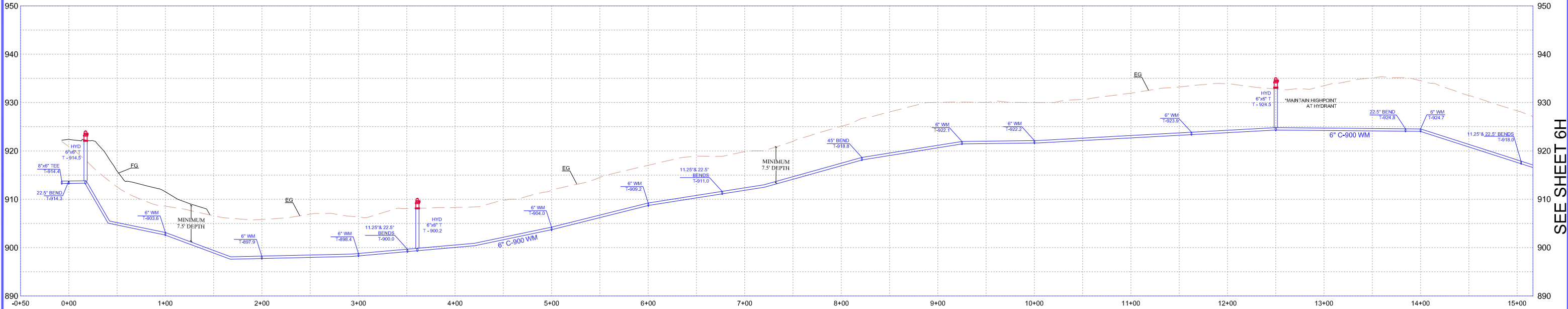
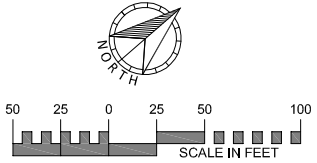
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GARAGE SETBACK LINE	GSBL	GSBL
PARCEL BOUNDARY LINE		GSBL
DRAINAGE AND UTILITY EASEMENTS		
CURB AND GUTTER		
ROADWAY EASEMENT		
SAN/WM SERVICE		
BACKYARD CATCH BASIN		
CATCH BASIN		
STORM SEWER MANHOLE		
FLARED END SECTION WRAP-RAP		
STORM STRUCTURE LABEL	(CB H3)	(CB H3)
SANITARY STRUCTURE LABEL		
SANITARY SEWER MANHOLE		
WATERMAIN		
HYDRANT		
GATE VALVE		



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PARCEL BOUNDARY LINE	PSBL	PSBL
DRAINAGE AND UTILITY EASEMENTS		
CURB AND GUTTER		
ROADWAY EASEMENT		
SANWM SERVICE	S	S
BACKYARD CATCH BASIN	CB B	CB B
CATCH BASIN	CB	CB
STORM SEWER MANHOLE	SM	SM
FLARED END SECTION WRAP-RAP	FE	FE
STORM STRUCTURE LABEL	CB H3	CB H3
SANITARY STRUCTURE LABEL	SM	SM
SANITARY SEWER MANHOLE	SSM	SSM
WATERMAIN	WM	WM
HYDRANT	H	H
GATE VALVE	GV	GV



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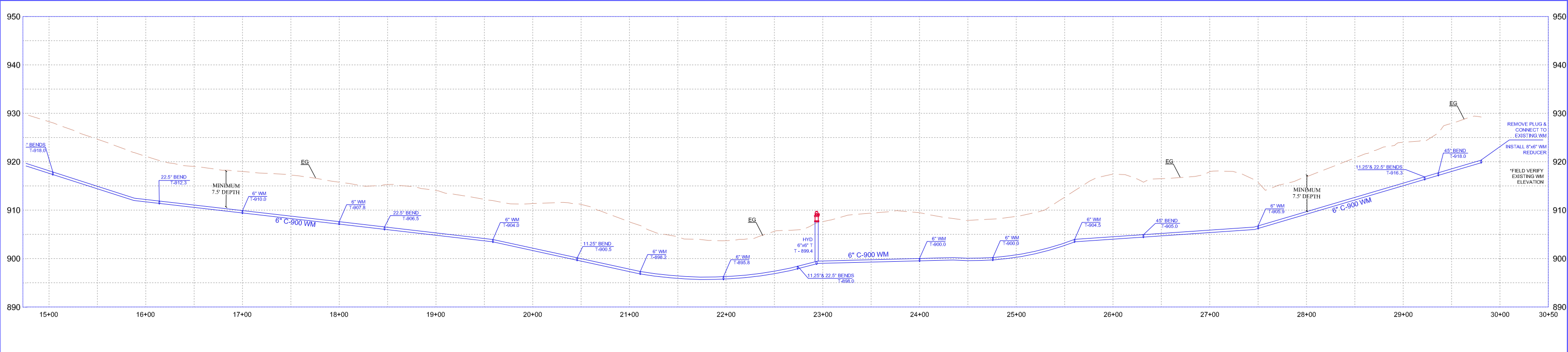
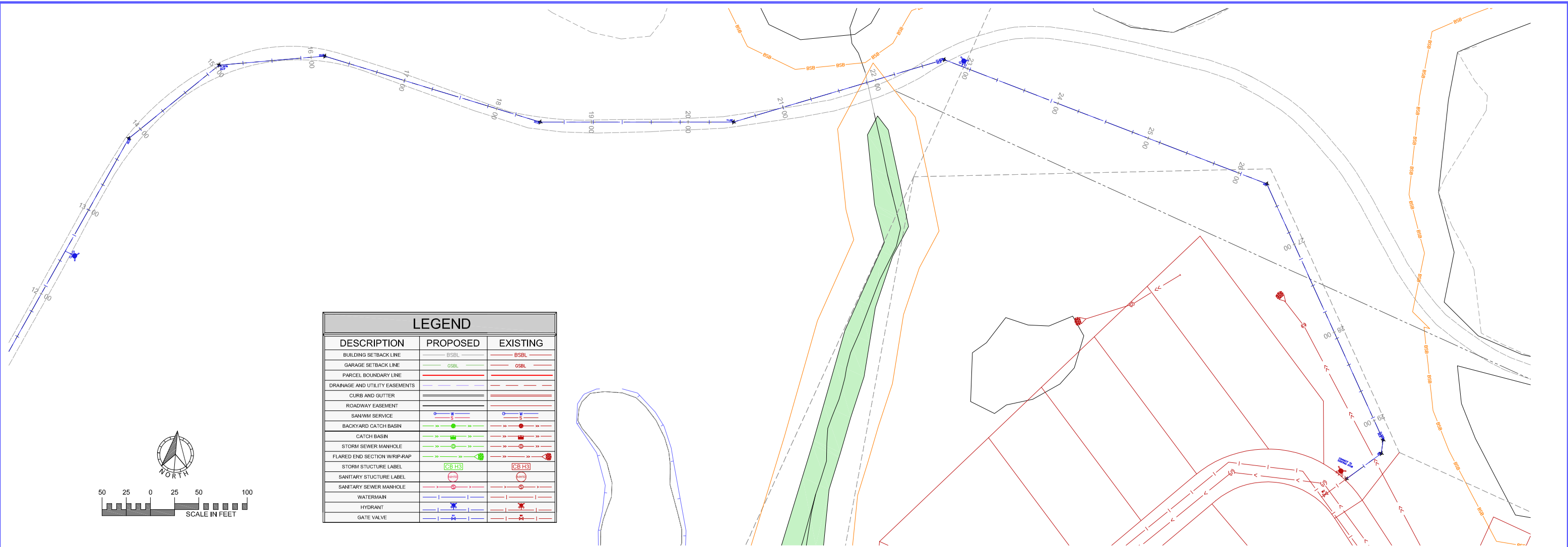
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SATHRE-BERGQUIST, INC.
 14000 25TH AVE N STE 120 PLYMOUTH, MN, 55447 (952) 476-6000

CITY PROJECT NO. ---

PRELIMINARY WATERMAIN PLAN
RED FOREST WAY SOUTH
NORTH OAKS

FILE NO. 64500-024
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CITY PROJECT NO.
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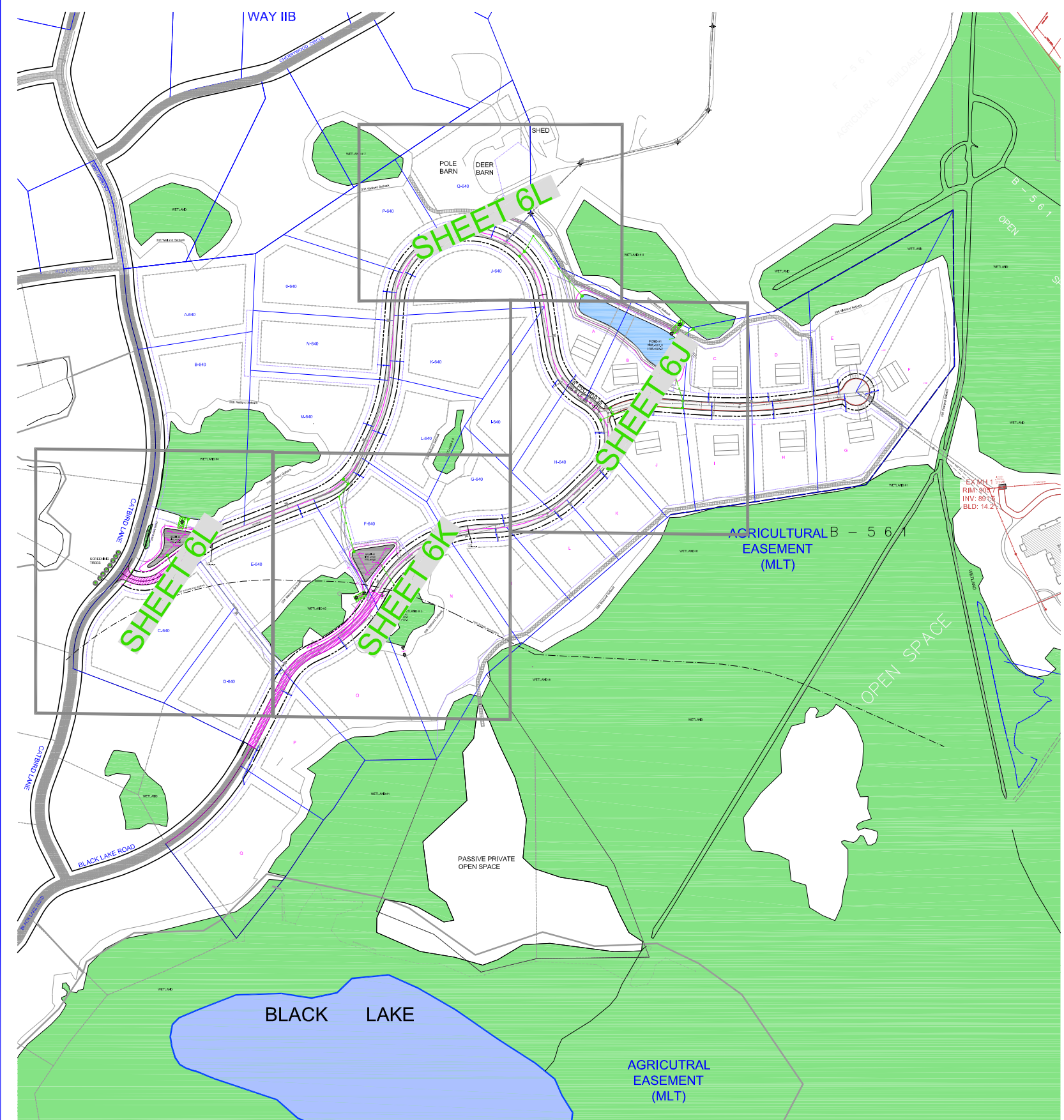
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PRELIMINARY WATERMAIN PLAN
RED FOREST WAY SOUTH
NORTH OAKS

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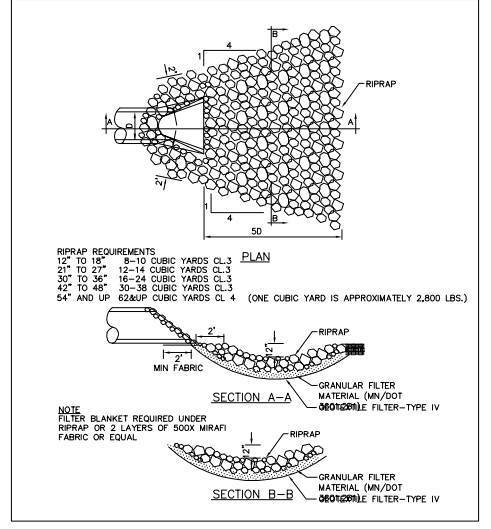
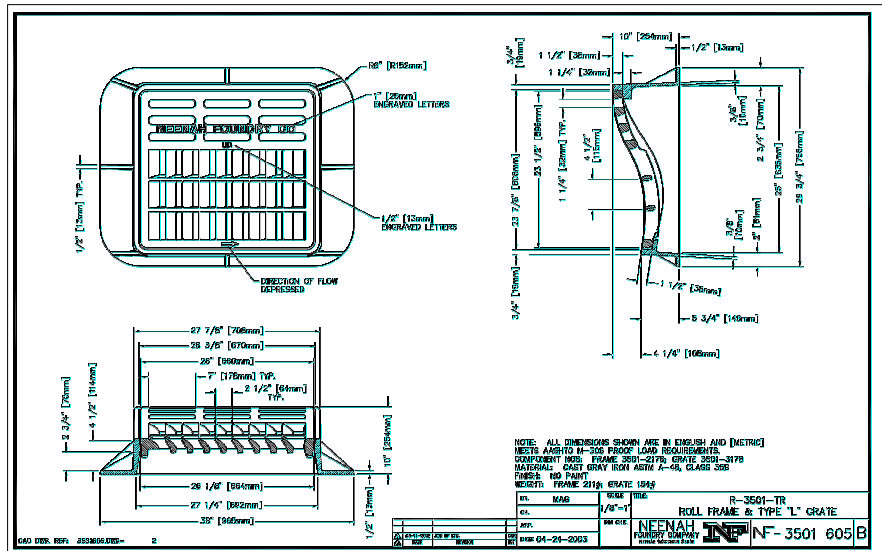
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LEGEND		
DESCRIPTION	PROPOSED	EXISTING
BUILDING SETBACK LINE	BBSL	BBSL
GARAGE SETBACK LINE	GSBL	GSBL
PARCEL BOUNDARY LINE	CSBL	CSBL
DRAINAGE AND UTILITY EASEMENTS		
CURB AND GUTTER		
ROADWAY EASEMENT		
SAN/WM SERVICE		
BACKYARD CATCH BASIN		
CATCH BASIN		
STORM SEWER MANHOLE		
FLARED END SECTION WRIP-RAP		
STORM STRUCTURE LABEL	CB H3	CB H3
SANITARY STRUCTURE LABEL		
SANITARY SEWER MANHOLE		
WATERMAIN		
HYDRANT		
GATE VALVE		

- STORM SEWER NOTES:**
- 4" DRAINTILE (W/SOCK) SHALL BE INSTALLED AT THE LOWPOINT CATCH BASINS 50' MIN. (STD) IN EACH DIRECTION & 100' IN THE UPHILL DIRECTION FOR ON SLOPE CATCH BASINS.
 - TIE THE LAST 6 PIPE JOINTS TO FLARED END SECTIONS (TYPICAL).
 - TRASH GUARDS SHALL BE PLACED ON ALL FLARED END SECTIONS 24" OR LARGER. THERE ARE NO TRASH GUARDS ON 12" THROUGH 21" F.E.S.'S.
 - TIE ALL PIPE JOINTS IN AND OUT OF ALL OUTLET STRUCTURES.
 - WIMCO'S OR APPROVED EQUAL TO BE INSTALLED AT ALL STORM INLETS.
 - RIP-RAP FOR STORM SEWER SHALL BE CLASS 3 AND SHALL BE HAND PLACED.
 - WET BASIN TO BE CLAY LINED. (2" MINIMUM CLAY LINER)
 - ALL ADJUSTING RINGS TO BE HDPE.
 - SAND FILTER AND DRAINTILE FOR THE FILTER BASIN SHALL BE INSTALLED AFTER FINAL STABILIZATION.
 - OUTLET CONTROL STRUCTURE GRATE TO BE GALVANIZED GRATE (SPLIT) 4" X 4" OPENINGS.



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Eric R. Johnson
 ERIC R. JOHNSON, P.E.
 Date: 03/23/23 Lic. No. 56659

SATHRE-BERGQUIST, INC.
 14000 25TH AVE N STE 120 PLYMOUTH, MN. 55447 (952) 476-6000

CITY PROJECT NO.
 NORTH OAKS, MINNESOTA

PRELIMINARY STORM SEWER PLAN
 RED FOREST WAY SOUTH
 NORTH OAKS

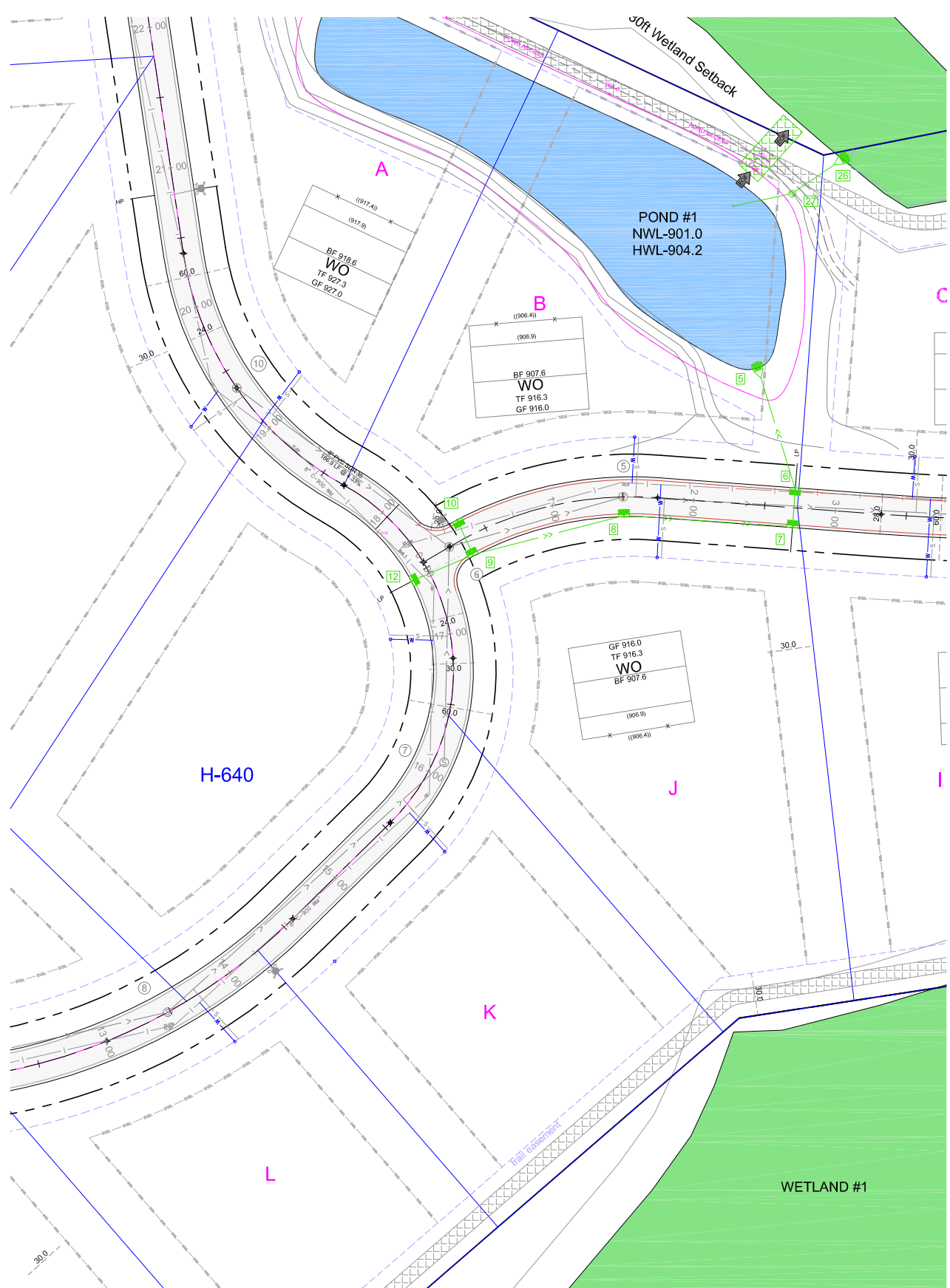
FILE NO.
 64500-024
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STRUCTURE TABLE							
STRUCTURE NAME	TYPE	DIAMETER	RIM	BUILD	INV	CASTING	NOTES
1A	CBMH	48.0"	907.7	3.1'	904.6	R-4342	
2	CBMH	48.0"	911.5	4.0'	907.5	R-4342	
6	CBMH	48.0"	907.6	4.3'	903.3	R-4342	
7	CBMH	48.0"	907.6	4.1'	903.5	R-3501	
8	CBMH	48.0"	909.6	4.0'	905.6	R-3501	
9	CBMH	48.0"	914.6	4.5'	910.1	R-4342	
10	CBMH	48.0"	914.6	4.0'	910.6	R-4342	
12	CB	48.0"	915.5	4.0'	911.5	R-4342	
16	CBMH	48.0"	950.1	11.1'	939.0	R-4342	
16A	CBMH	48.0"	949.6	6.5'	943.1	R-3501	
17	CBMH	2'x3'	949.6	6.3'	943.3	R-3501	
30	CBMH	48.0"	921.4	8.4'	913.0	R-3501	
31	CB	2'x3'	921.3	4.0'	917.3	R-3501	

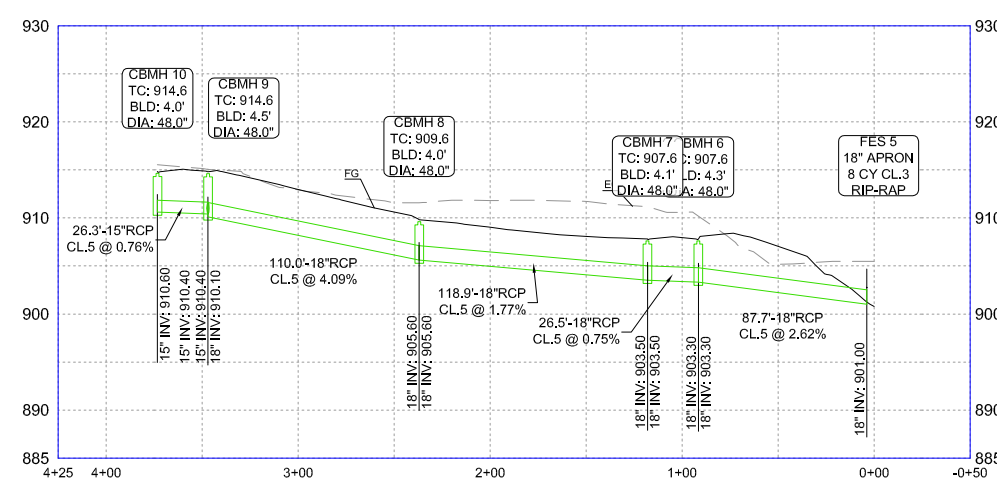
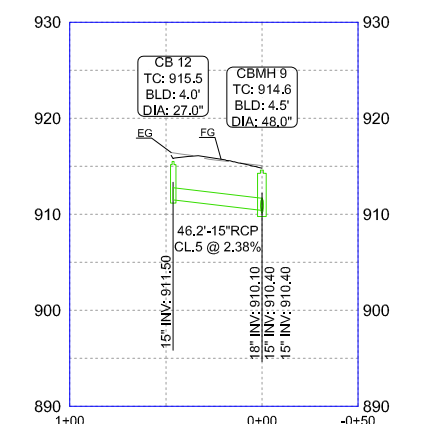
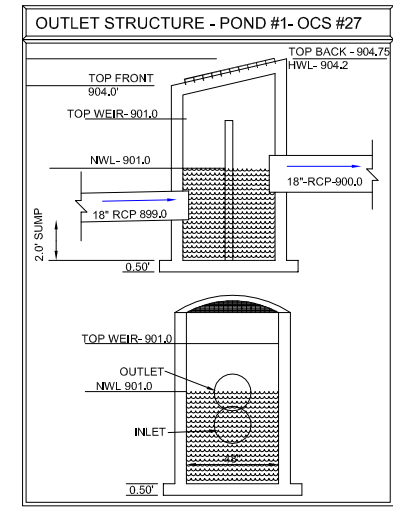
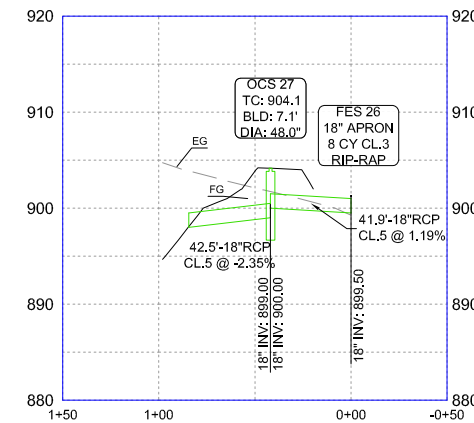
FES TABLE				
Structure Name	TYPE	SIZE (IN.)	INV	C.Y. RIP RAP
1	FES	18	901.0	8
5	FES	18	901.0	8
15	FES	18	937.0	8
18	FES	18	935.0	8
20	FES	15	936.0	8
21	FES	15	936.5	8
26	FES	18	899.5	8
28	FES	18	933.0	8
29	FES	18	935.0	8

OUTLET STRUCTURE TABLE			
Structure Name	TYPE	INV	DETAIL
27	OCS	899.0 900.00	SEE STRUCTURE DETAIL
B1	OCS	935.50	SEE STRUCTURE DETAIL
B2	OCS	935.50	SEE STRUCTURE DETAIL
B3	OCS	934.00	SEE STRUCTURE DETAIL





LEGEND		
DESCRIPTION	PROPOSED	EXISTING
BUILDING SETBACK LINE	B'SBL	B'SBL
GARAGE SETBACK LINE	G'SBL	G'SBL
PARCEL BOUNDARY LINE		
DRAINAGE AND UTILITY EASEMENTS		
CURB AND GUTTER		
ROADWAY EASEMENT		
SANITARY SERVICE		
BACKYARD CATCH BASIN		
CATCH BASIN		
STORM SEWER MANHOLE		
FLARED END SECTION W/ RIP-RAP		
STORM STRUCTURE LABEL	CB H3	CB H3
SANITARY STRUCTURE LABEL		
SANITARY SEWER MANHOLE		
WATERMAIN		
HYDRANT		
GATE VALVE		



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CITY PROJECT NO.
--

NORTH OAKS, MINNESOTA

PRELIMINARY STORM SEWER PLAN

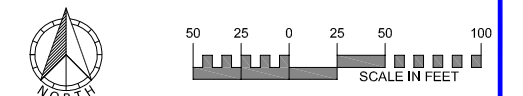
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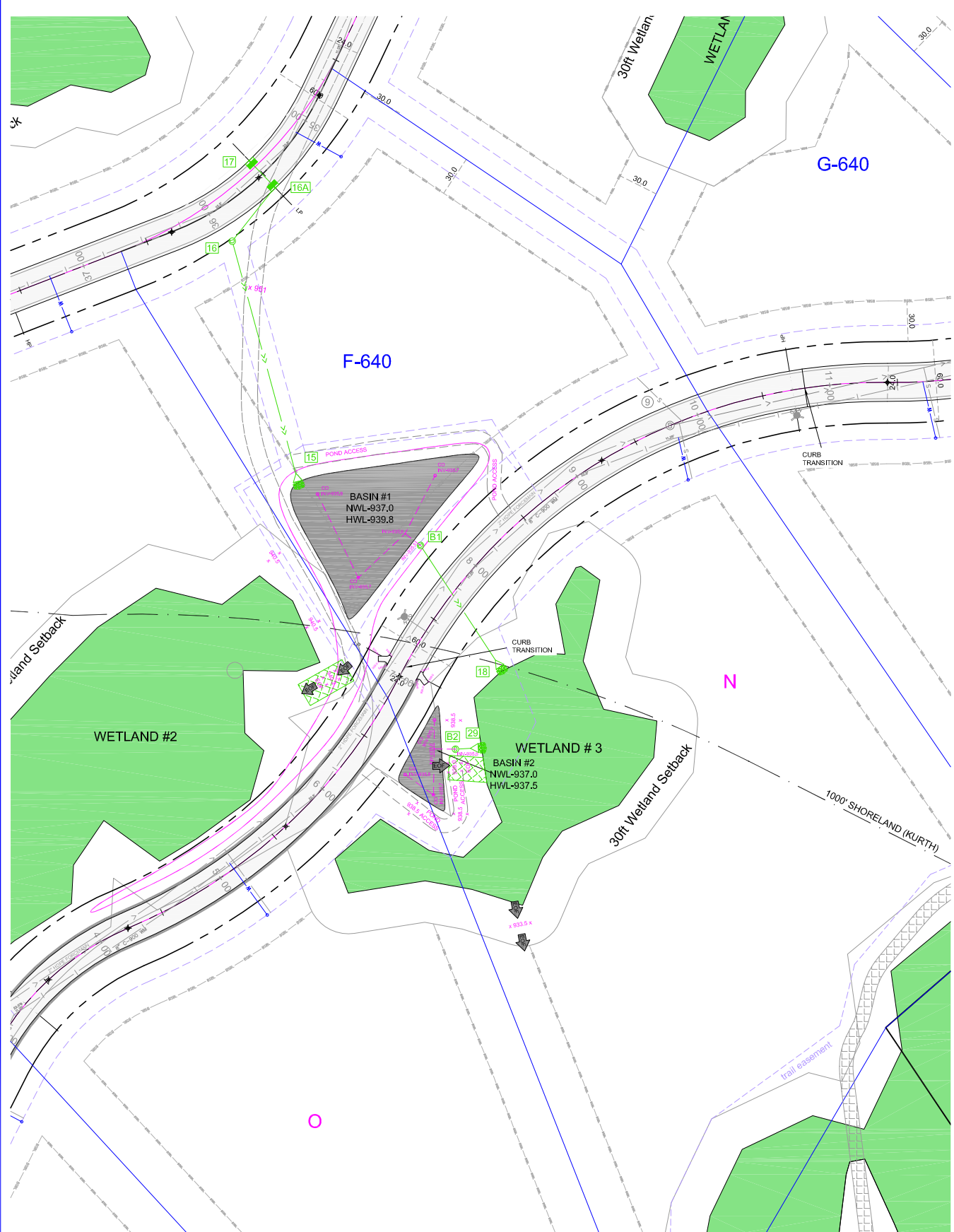
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FILE NO.
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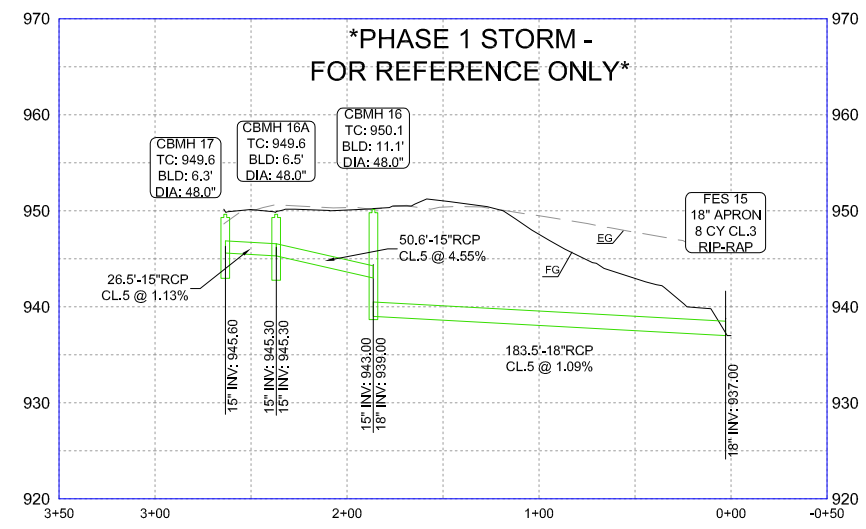
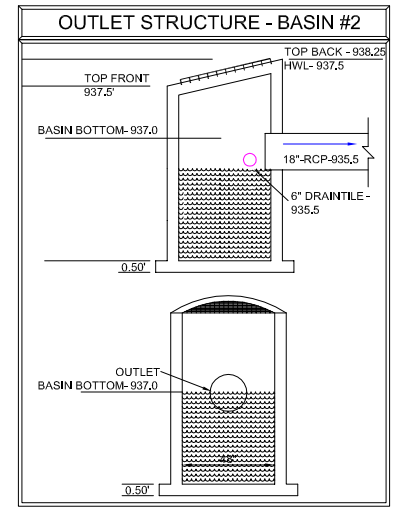
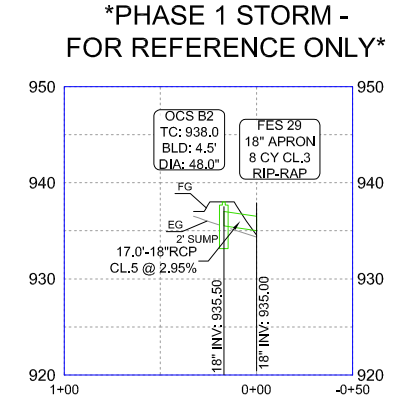
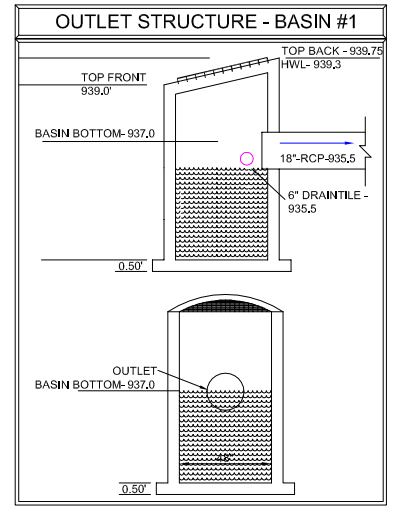
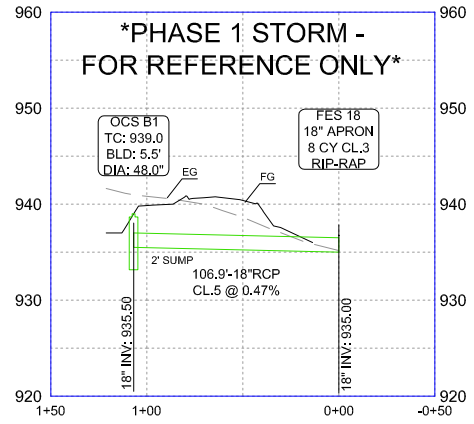
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LEGEND		
DESCRIPTION	PROPOSED	EXISTING
BUILDING SETBACK LINE	B-SBL	B-SBL
GARAGE SETBACK LINE	G-SBL	G-SBL
PARCEL BOUNDARY LINE		
DRAINAGE AND UTILITY EASEMENTS		
CURB AND GUTTER		
ROADWAY EASEMENT		
SANITARY SERVICE		
BACKYARD CATCH BASIN		
CATCH BASIN		
STORM SEWER MANHOLE		
FLARED END SECTION W/ RIP-RAP		
STORM STRUCTURE LABEL	CB H3	CB H3
SANITARY STRUCTURE LABEL		
SANITARY SEWER MANHOLE		
WATERMAIN		
HYDRANT		
GATE VALVE		



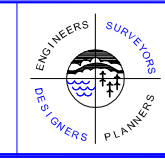
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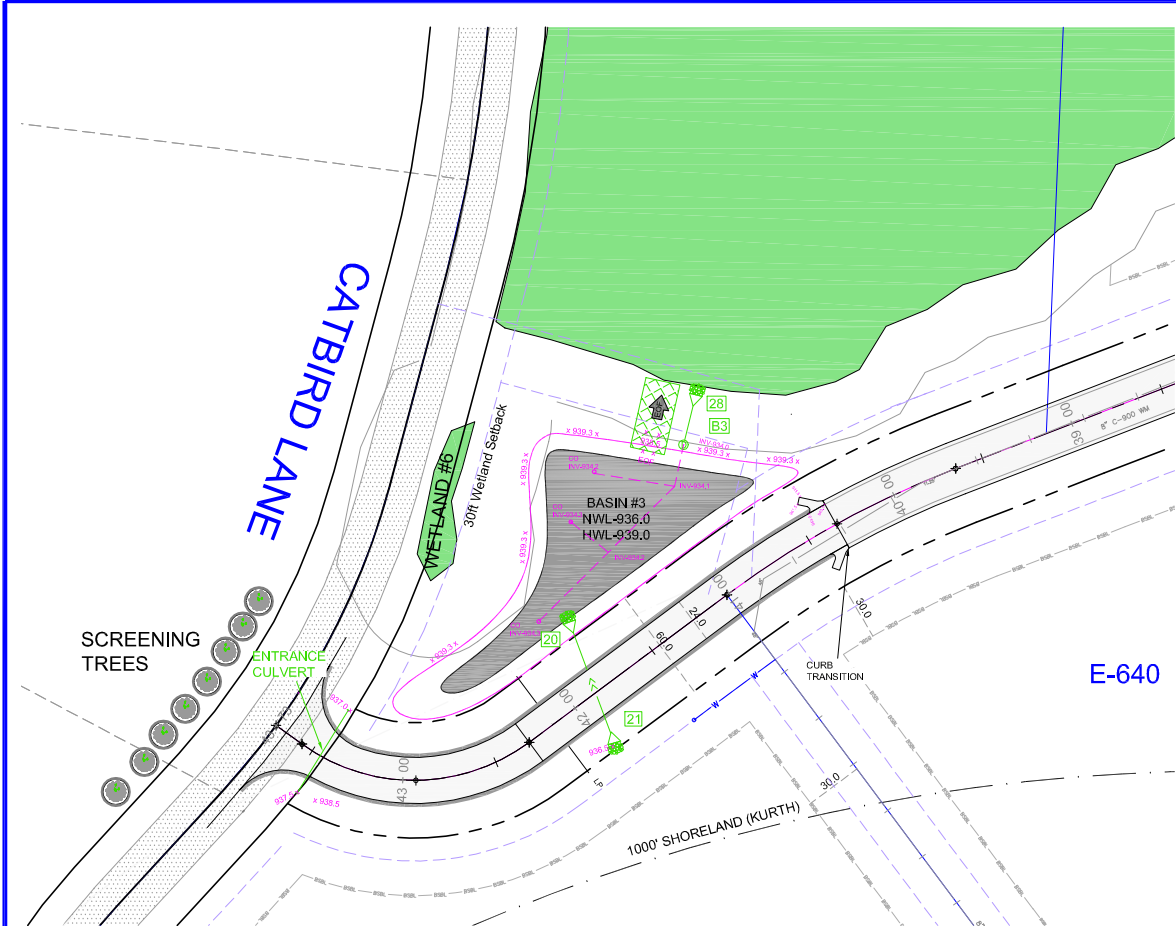


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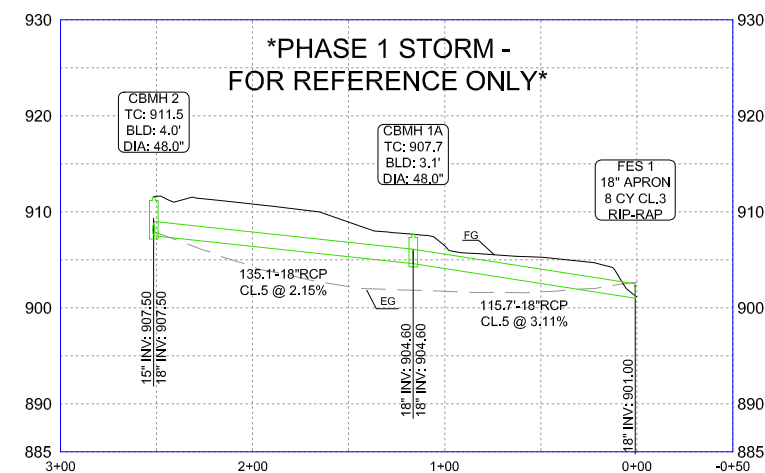
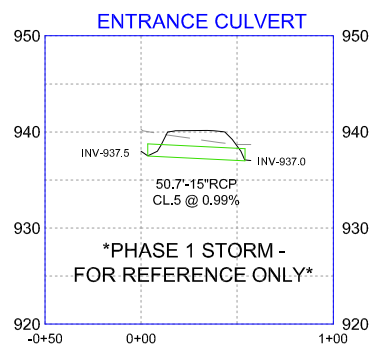
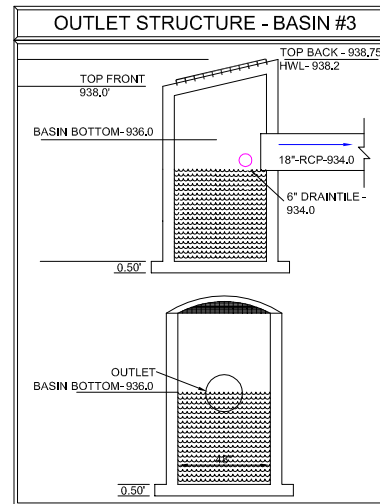
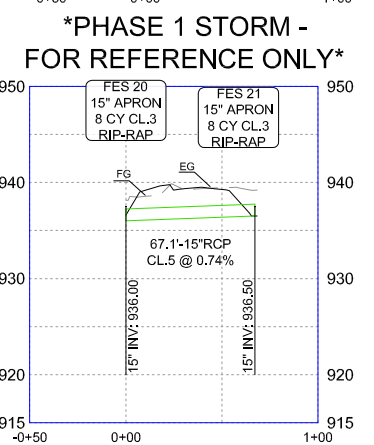
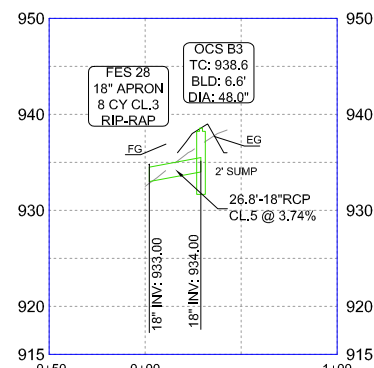
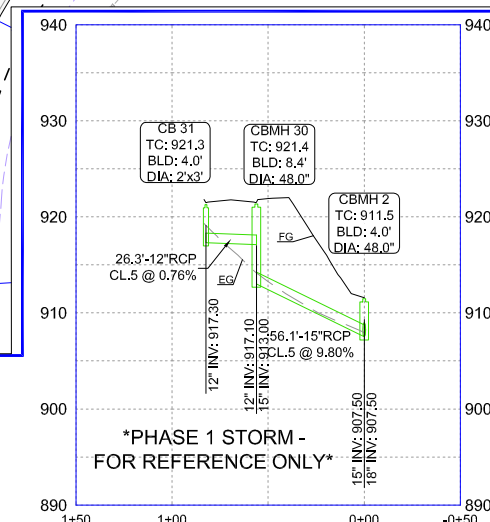
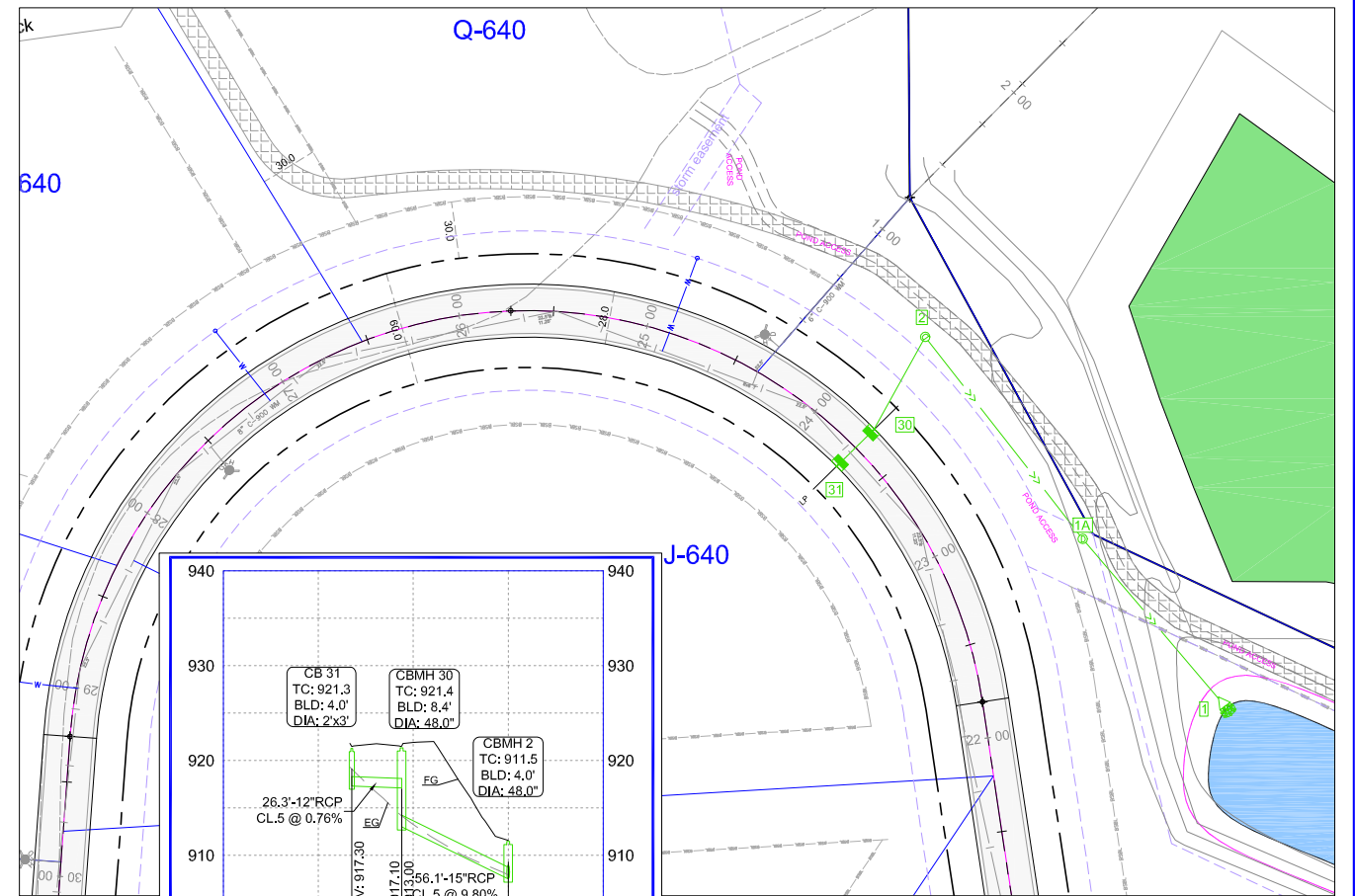
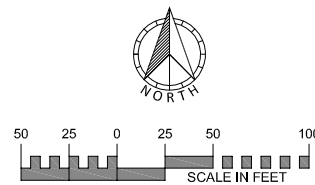
CITY PROJECT NO.
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NORTH OAKS, MINNESOTA

PRELIMINARY STORM SEWER PLAN
RED FOREST WAY SOUTH
NORTH OAKS

FILE NO.
 64500-024
6K
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LEGEND		
DESCRIPTION	PROPOSED	EXISTING
BUILDING SETBACK LINE	BSBL	BSBL
GARAGE SETBACK LINE	GSBL	GSBL
PARCEL BOUNDARY LINE		
DRAINAGE AND UTILITY EASEMENTS		
CURB AND GUTTER		
ROADWAY EASEMENT		
SANITARY SERVICE		
BACKYARD CATCH BASIN		
CATCH BASIN		
STORM SEWER MANHOLE		
FLARED END SECTION WRIP-RAP		
STORM STRUCTURE LABEL	CB H3	CB H3
SANITARY STRUCTURE LABEL		
SANITARY SEWER MANHOLE		
WATERMAIN		
HYDRANT		
GATE VALVE		



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CITY PROJECT NO.
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NORTH OAKS, MINNESOTA

PRELIMINARY STORM SEWER PLAN

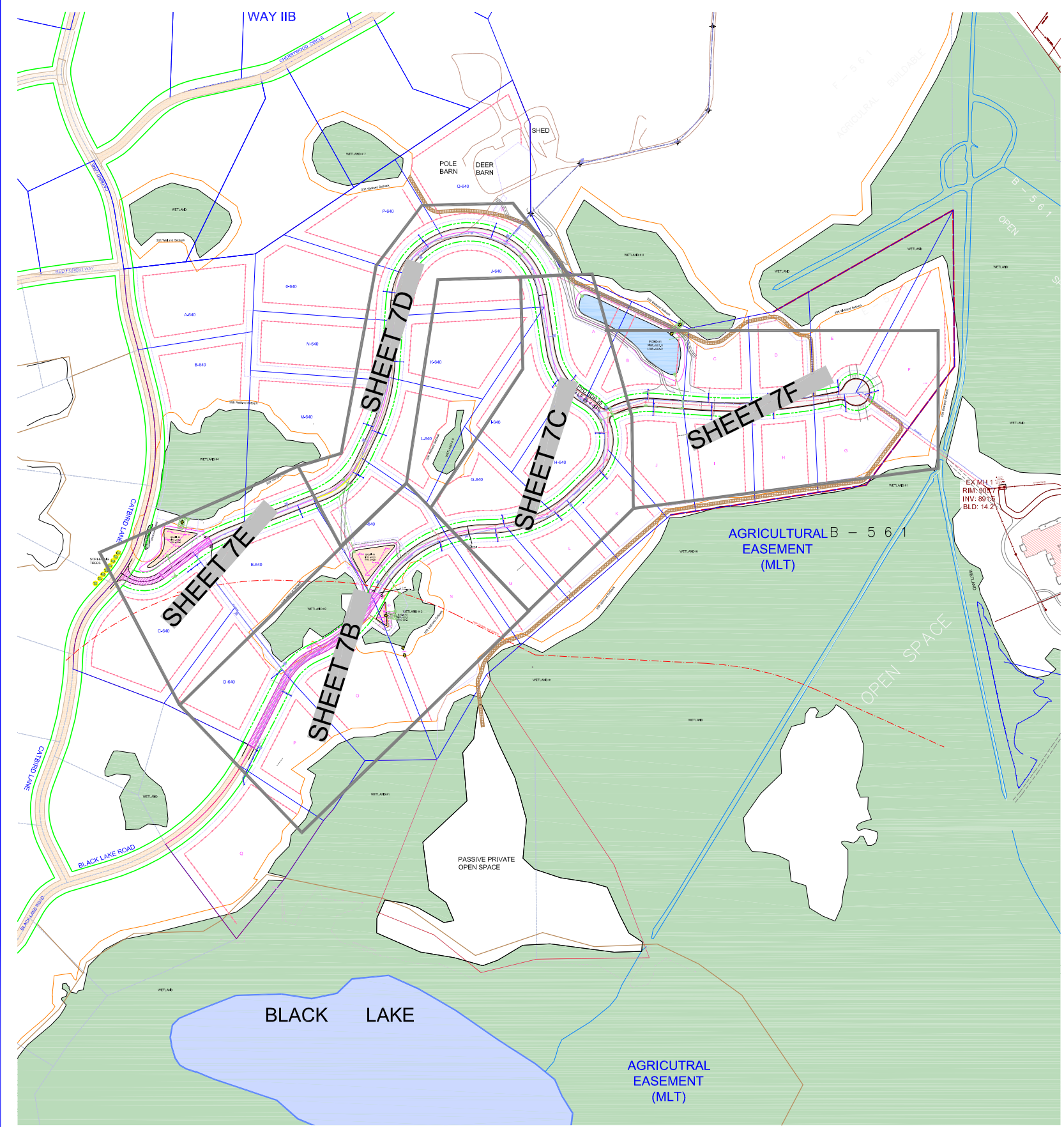
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NORTH OAKS

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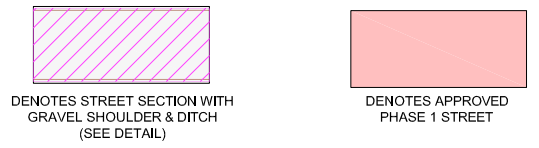
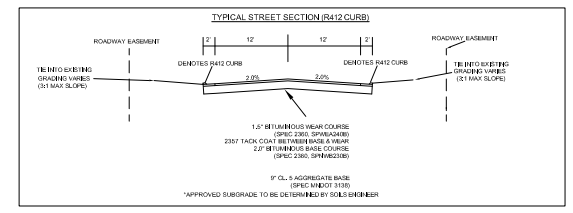
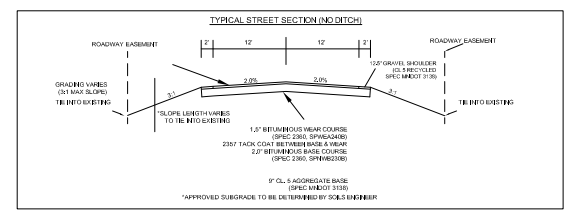
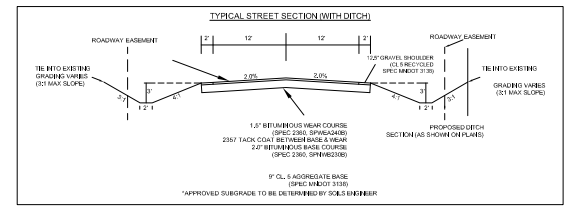
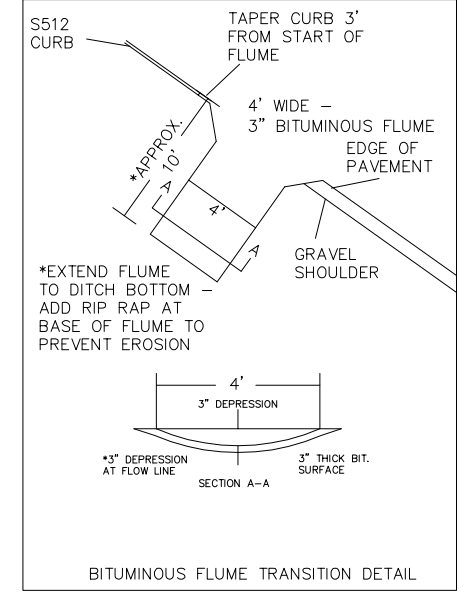
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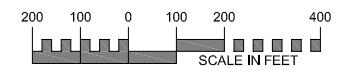
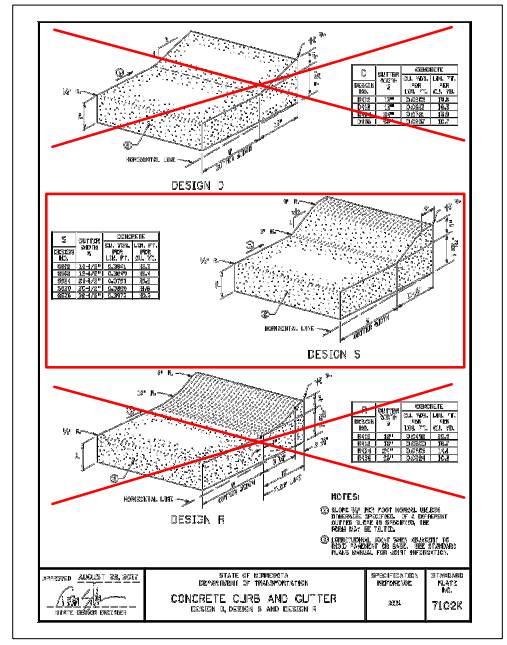
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DESCRIPTION	PROPOSED	EXISTING
BUILDING SETBACK LINE	BBSL	BBSL
GARAGE SETBACK LINE	GSSL	GSSL
PARCEL BOUNDARY LINE		
DRAINAGE AND UTILITY EASEMENTS		
CURB AND GUTTER		
ROADWAY EASEMENT		
SANWM SERVICE		
BACKYARD CATCH BASIN		
CATCH BASIN		
STORM SEWER MANHOLE		
FLARED END SECTION WRIP-RAP		
STORM STRUCTURE LABEL	CB H3	CB H3
SANITARY STRUCTURE LABEL		
SANITARY SEWER MANHOLE		
WATERMAIN		
HYDRANT		
GATE VALVE		



STREET NOTES

- STREETS TO BE 24' WIDE WITH A 2' GRAVEL SHOULDER OR 28' B-B SECTION (S512 CURB - SEE DETAIL)
- STREET SECTION:
 1.5" BITUMINOUS WEAR COURSE
 2.0" BITUMINOUS BASE COURSE
 9" CLASS 5 RECYCLED SAND SECTION TO BE DETERMINED BY SOILS ENGINEER
 APPROVED SUBGRADE TO BE DETERMINED BY SOILS ENGINEER
RECYCLE MATERIAL (RAP AND RAS) ARE NOT ALLOWED IN BITUMINOUS WEAR COURSE
- DITCHES TO BE SLOPED 3:1 WITH A 2' BOTTOM
- MINIMUM DITCH DEPTH TO BE 2' FROM EDGE OF SHOULDER TO BOTTOM OF DITCH.



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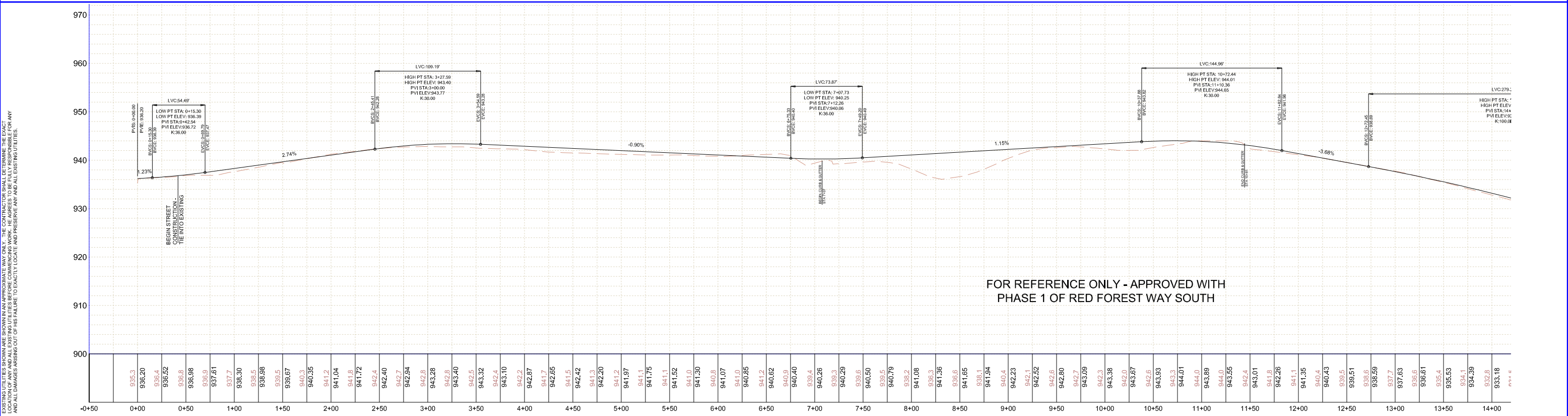
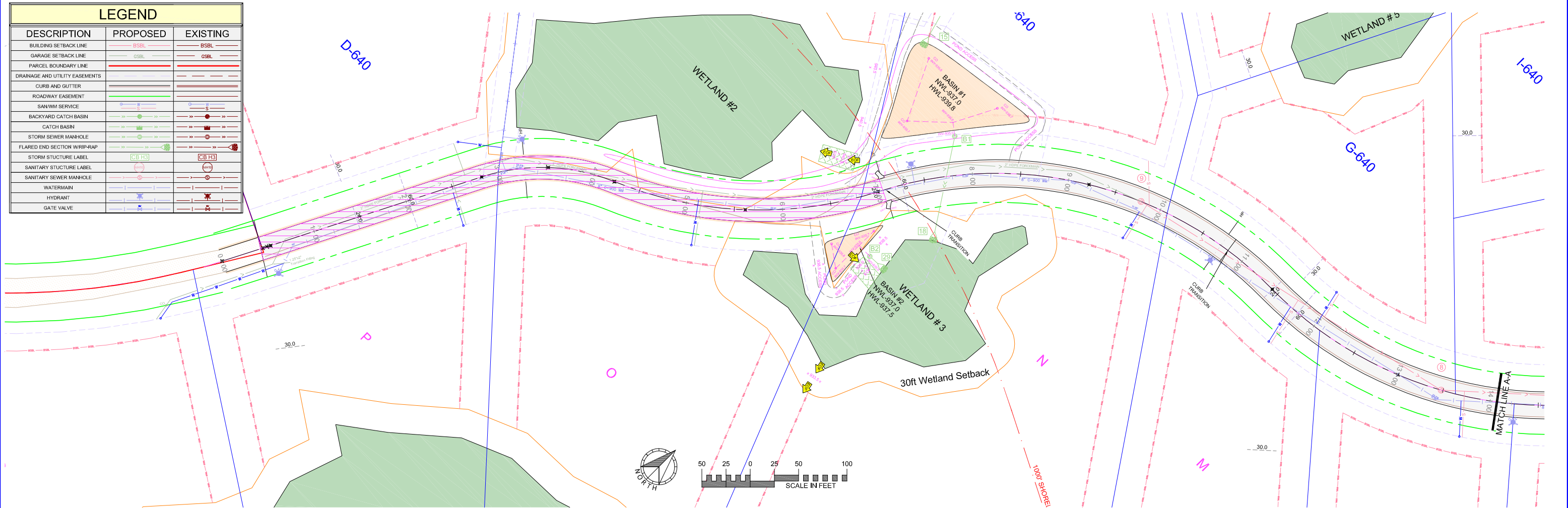
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CITY PROJECT NO. ---
NORTH OAKS, MINNESOTA

PRELIMINARY STREET PLAN
RED FOREST WAY SOUTH
NORTH OAKS

FILE NO. 64500-024
7A
 7 80

LEGEND		
DESCRIPTION	PROPOSED	EXISTING
BUILDING SETBACK LINE	BSBL	BSBL
GARAGE SETBACK LINE	GSBL	GSBL
PARCEL BOUNDARY LINE		
DRAINAGE AND UTILITY EASEMENTS		
CURB AND GUTTER		
ROADWAY EASEMENT		
SANITARY SERVICE		
BACKYARD CATCH BASIN		
CATCH BASIN		
STORM SEWER MANHOLE		
FLARED END SECTION WHIRL-RAP		
STORM STRUCTURE LABEL	CB H3	CB H3
SANITARY STRUCTURE LABEL		
SANITARY SEWER MANHOLE		
WATERMAIN		
HYDRANT		
GATE VALVE		



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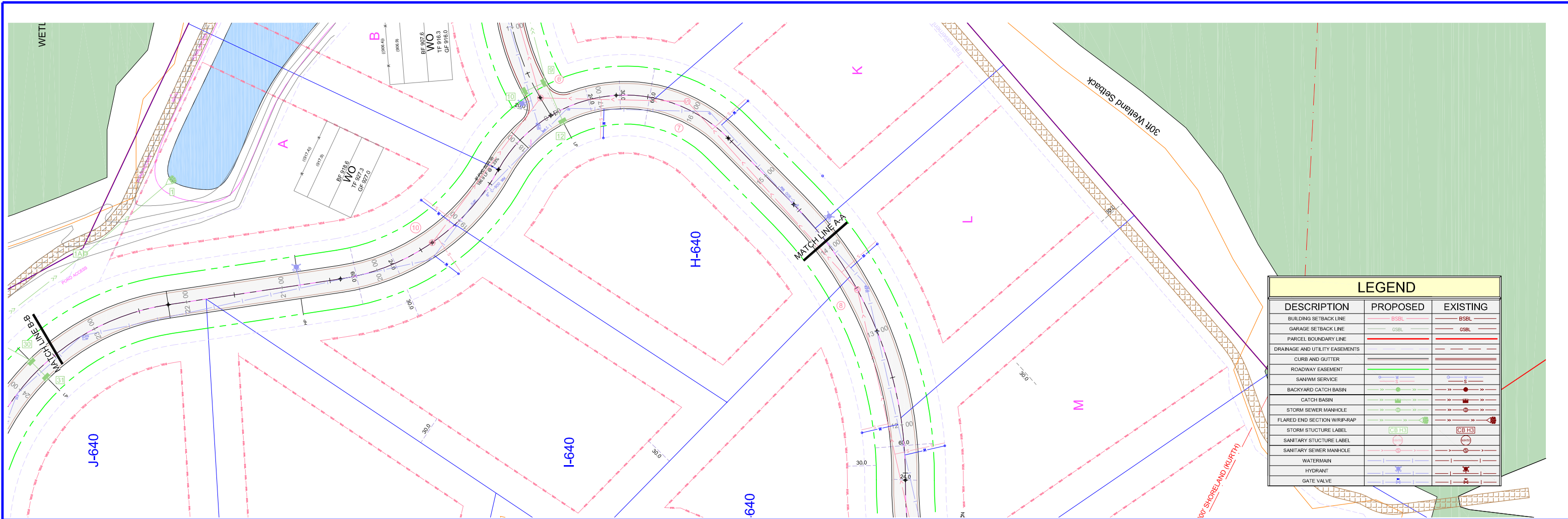
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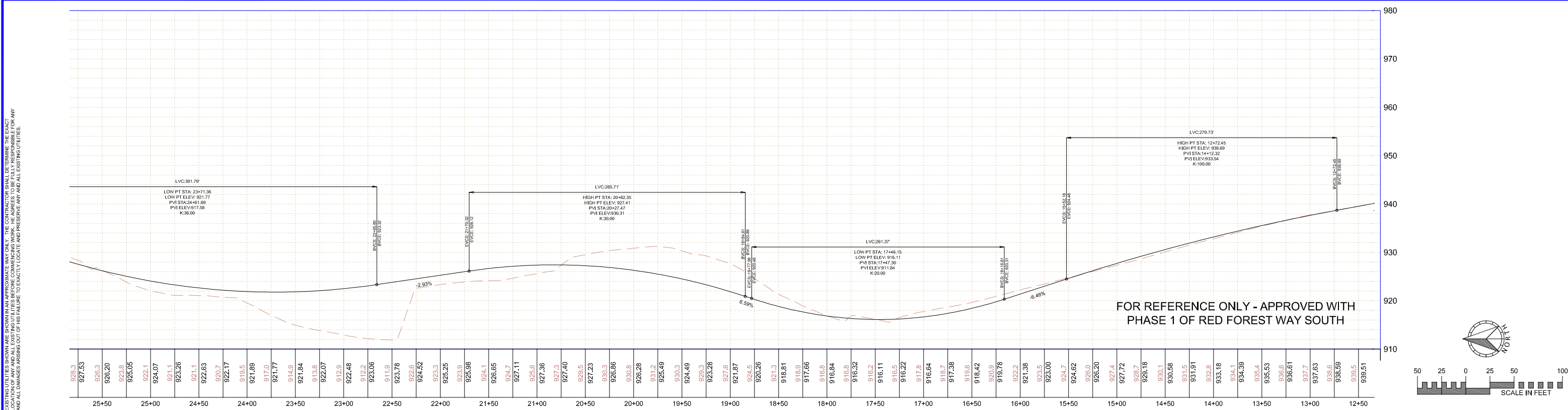
CITY PROJECT NO. ---

PRELIMINARY STREET PLAN
RED FOREST WAY SOUTH
NORTH OAKS

FILE NO. 64500-024
7B
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LEGEND		
DESCRIPTION	PROPOSED	EXISTING
BUILDING SETBACK LINE	BSBL	BSBL
GARAGE SETBACK LINE	CSBL	CSBL
PARCEL BOUNDARY LINE	CSBL	CSBL
DRAINAGE AND UTILITY EASEMENTS		
CURB AND GUTTER		
ROADWAY EASEMENT		
SANWWM SERVICE		
BACKYARD CATCH BASIN		
CATCH BASIN		
STORM SEWER MANHOLE		
FLARED END SECTION WRIP-RAP		
STORM STRUCTURE LABEL	CB H3	CB H3
SANITARY STRUCTURE LABEL		
SANITARY SEWER MANHOLE		
WATERMAIN		
HYDRANT		
GATE VALVE		



EXISTING UTILITIES SHOWN ARE SHOWN FOR INFORMATION ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES AND ALL DAMAGES ARISING OUT OF HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES.

DRAWING NAME	NO.	BY	DATE	REVISIONS
FINAL SHEETS				
DRAWN BY				
CHECKED BY				
DATE				

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Eric R. Johnson
 ERIC R. JOHNSON, P.E.
 Date: 03/23/23 Lic. No. 56659

ENGINEERS SURVEYORS
 DESIGNERS PLANNERS

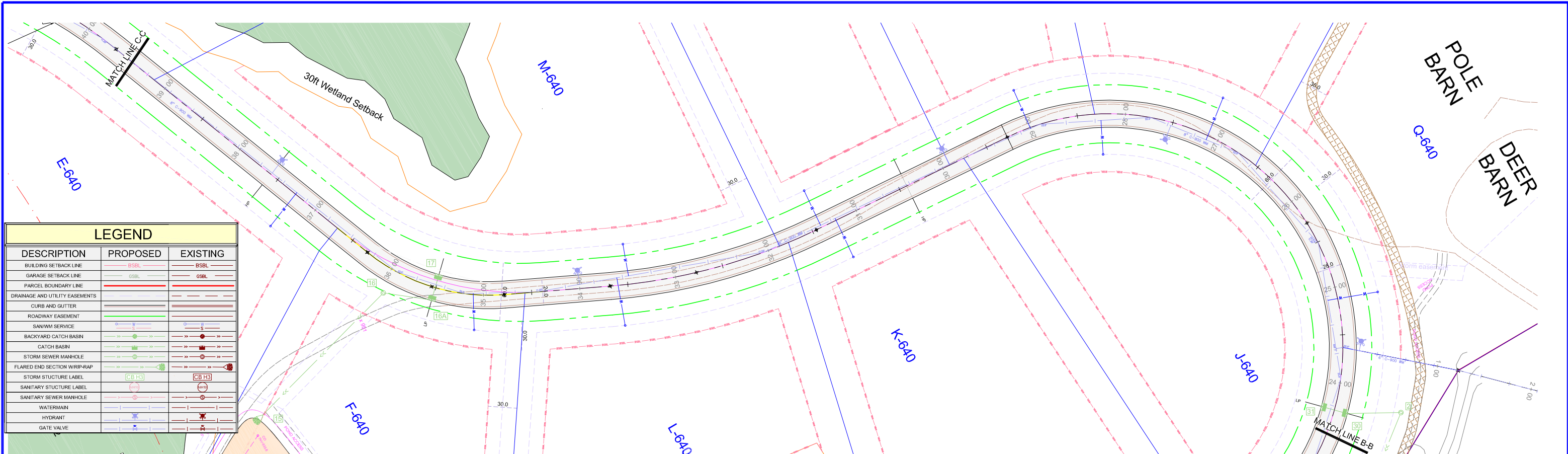
SATHRE-BERGQUIST, INC.
 14000 25TH AVE N STE 120 PLYMOUTH, MN, 55447 (952) 476-6000

CITY PROJECT NO. ---

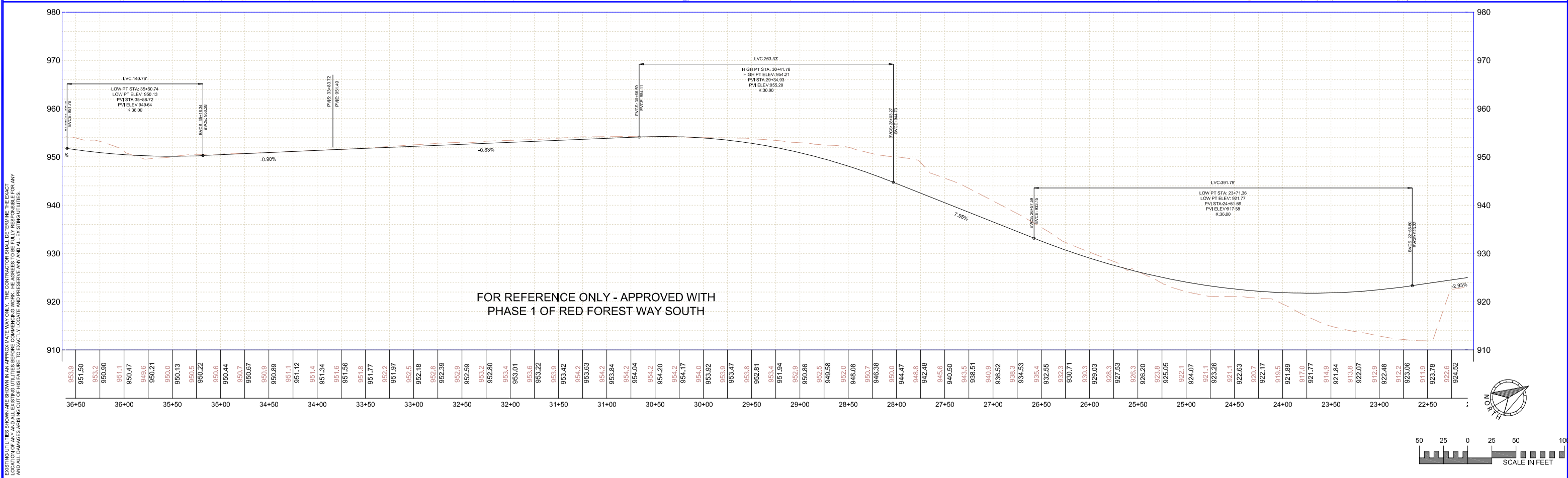
NORTH OAKS, MINNESOTA

PRELIMINARY STREET PLAN
RED FOREST WAY SOUTH
NORTH OAKS

FILE NO. 64500-024
7C
 7 82




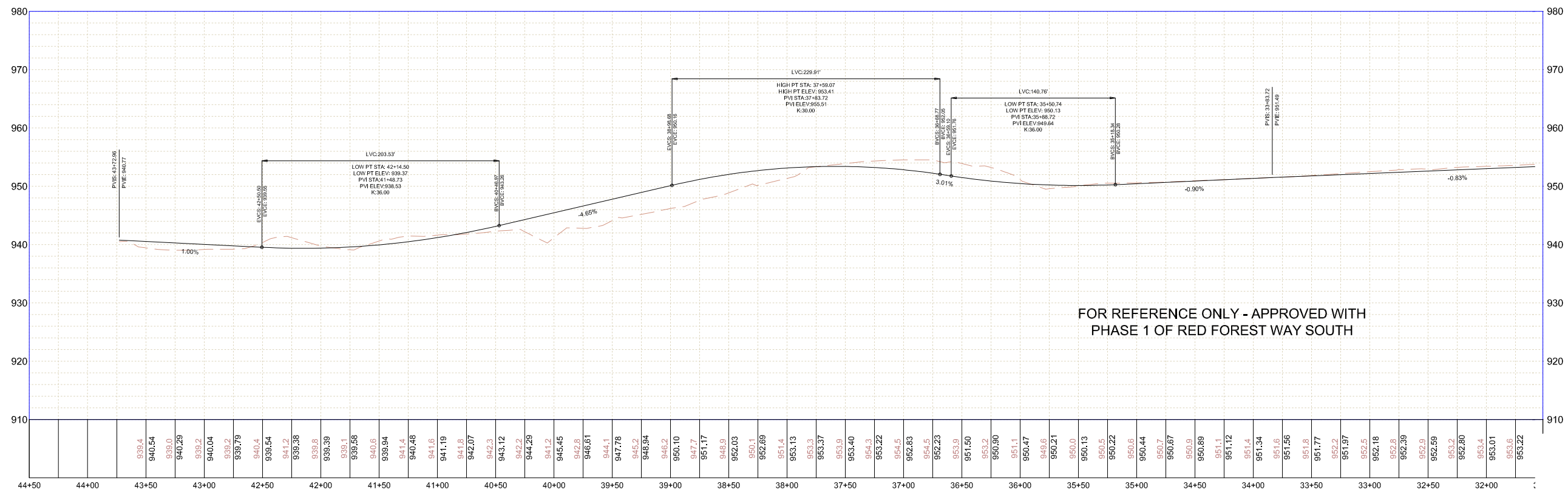
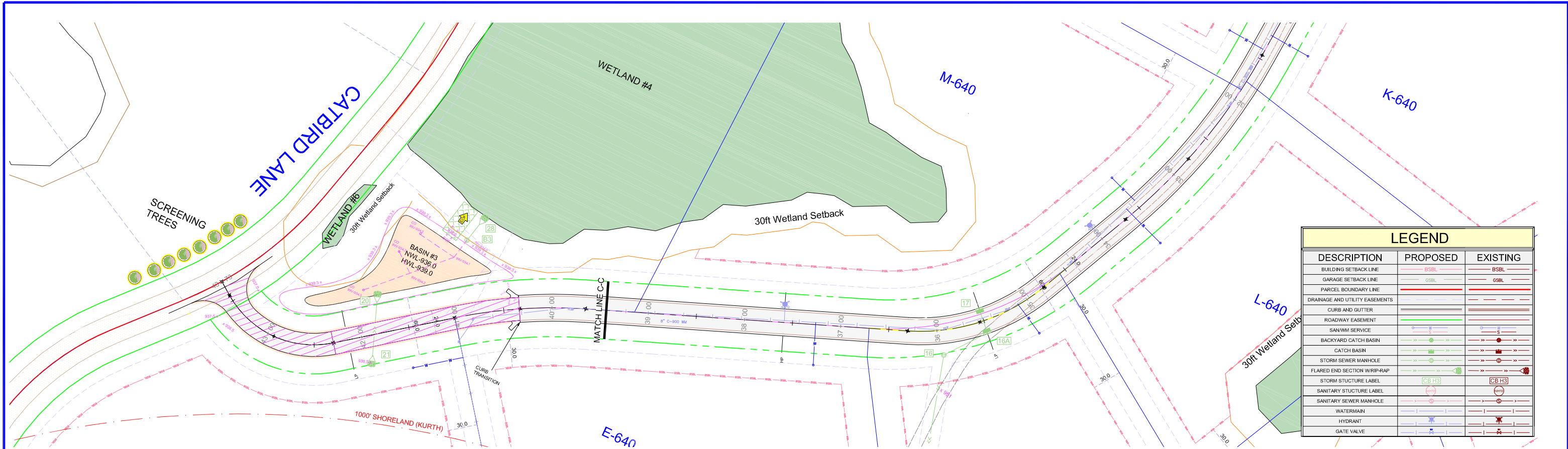
LEGEND		
DESCRIPTION	PROPOSED	EXISTING
BUILDING SETBACK LINE	BSBL	BSBL
GARAGE SETBACK LINE	GSBL	GSBL
PARCEL BOUNDARY LINE	PSBL	PSBL
DRAINAGE AND UTILITY EASEMENTS		
CURB AND GUTTER		
ROADWAY EASEMENT		
SANITARY SERVICE		
BACKYARD CATCH BASIN		
CATCH BASIN		
STORM SEWER MANHOLE		
FLARED END SECTION WRIP-RAP		
STORM STRUCTURE LABEL	CB H3	CB H3
SANITARY STRUCTURE LABEL		
SANITARY SEWER MANHOLE		
WATERMAIN		
HYDRANT		
GATE VALVE		



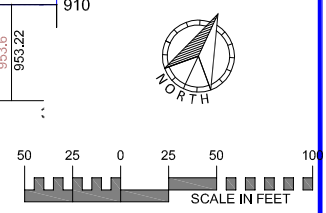
FOR REFERENCE ONLY - APPROVED WITH
PHASE 1 OF RED FOREST WAY SOUTH

EXISTING UTILITIES SHOWN ARE SHOWN FOR REFERENCE ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES AND ALL DAMAGES ARISING OUT OF HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES.

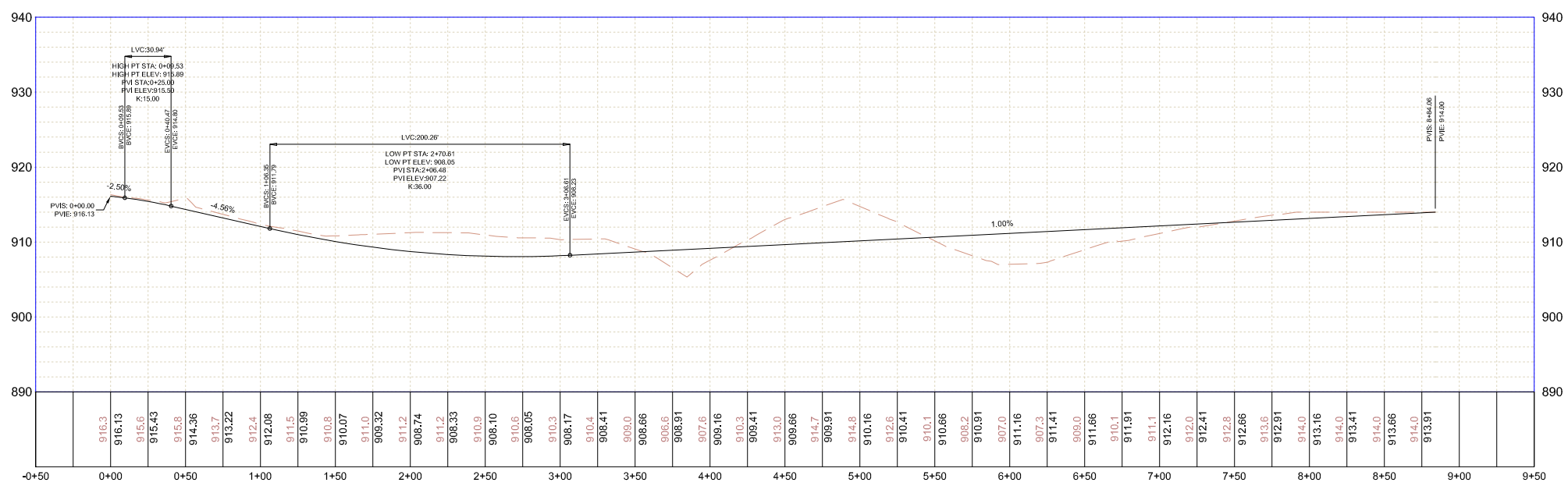
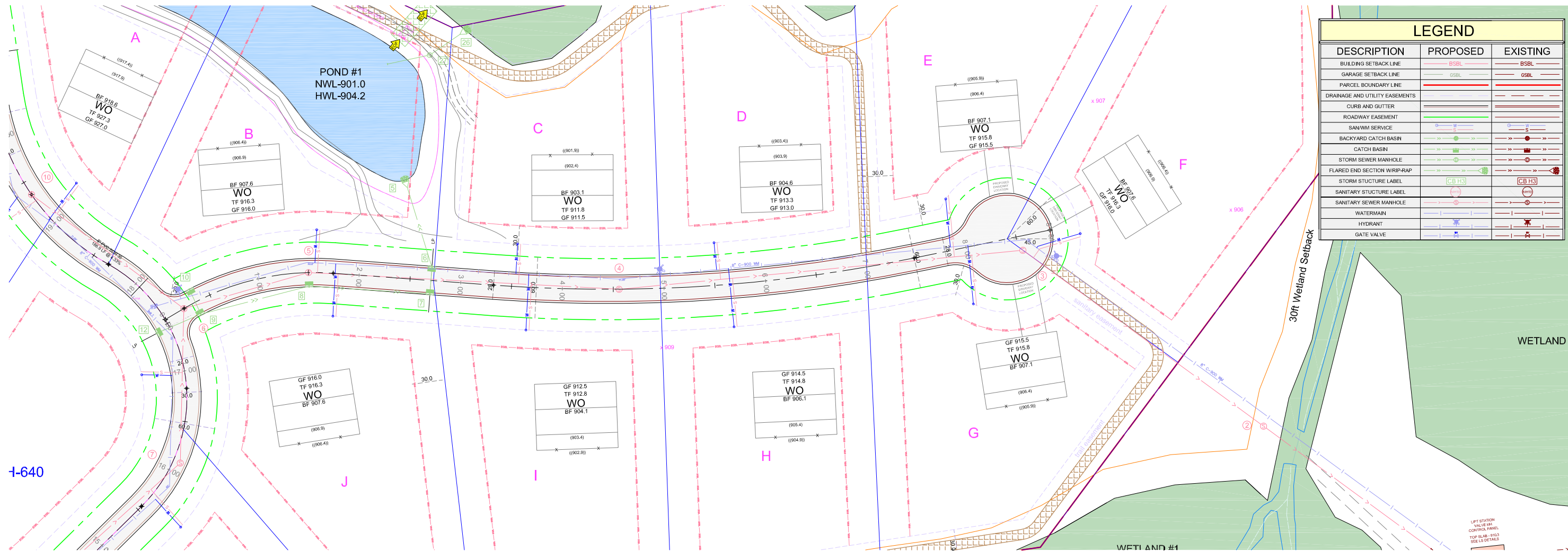
DRAWING NAME	NO.	BY	DATE	REVISIONS	USE (INCLUDING COPYING, DISTRIBUTION, AND/OR CONVEYANCE OF INFORMATION) OF THIS PRODUCT IS STRICTLY PROHIBITED WITHOUT SATHRE-BERGQUIST, INC.'S EXPRESS WRITTEN AUTHORIZATION. USE WITHOUT SAID AUTHORIZATION CONSTITUTES AN ILLEGITIMATE USE AND SHALL THEREBY INDEMNIFY SATHRE-BERGQUIST, INC. OF ALL RESPONSIBILITY. SATHRE-BERGQUIST, INC. RESERVES THE RIGHT TO HOLD ANY ILLEGITIMATE USER OR PARTY LEGALLY RESPONSIBLE FOR DAMAGES OR LOSSES RESULTING FROM ILLEGITIMATE USE.	I HEREBY CERTIFY THAT THIS PLAN OR SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA. <i>Eric R. Johnson</i> ERIC R. JOHNSON, P.E. Date: <u>03/23/23</u> Lic. No. <u>56659</u>	 SATHRE-BERGQUIST, INC. 14000 25TH AVE N STE 120 PLYMOUTH, MN. 55447 (952) 476-6000	CITY PROJECT NO. NORTH OAKS, MINNESOTA	PRELIMINARY STREET PLAN RED FOREST WAY SOUTH NORTH OAKS	FILE NO. 64500-024 7D 7 83
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EXISTING UTILITIES SHOWN ARE SHOWN IN RED. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES ARISING OUT OF HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES.



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FINAL SHEETS											
DRAWN BY											
CHECKED BY											
DATE											



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CHECKED BY				
DATE				
03/23/23				

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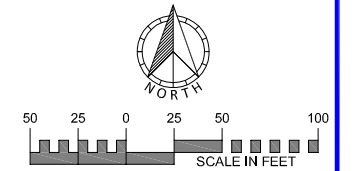
SATHRE-BERGQUIST, INC.
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ENGINEERS SURVEYORS DESIGNERS PLANNERS

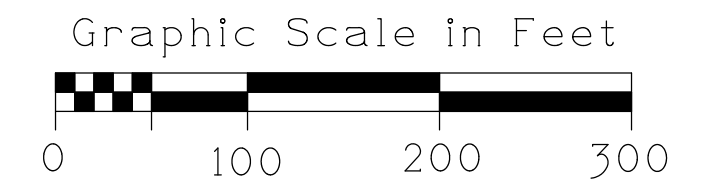
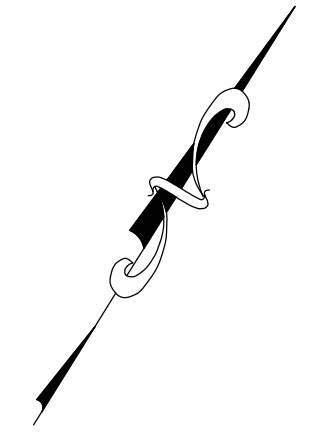
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NORTH OAKS, MINNESOTA

PRELIMINARY STREET PLAN
RED FOREST WAY SOUTH
NORTH OAKS

FILE NO. 64500-024
7F
 7 85



DEVELOPMENT AREA "K3"

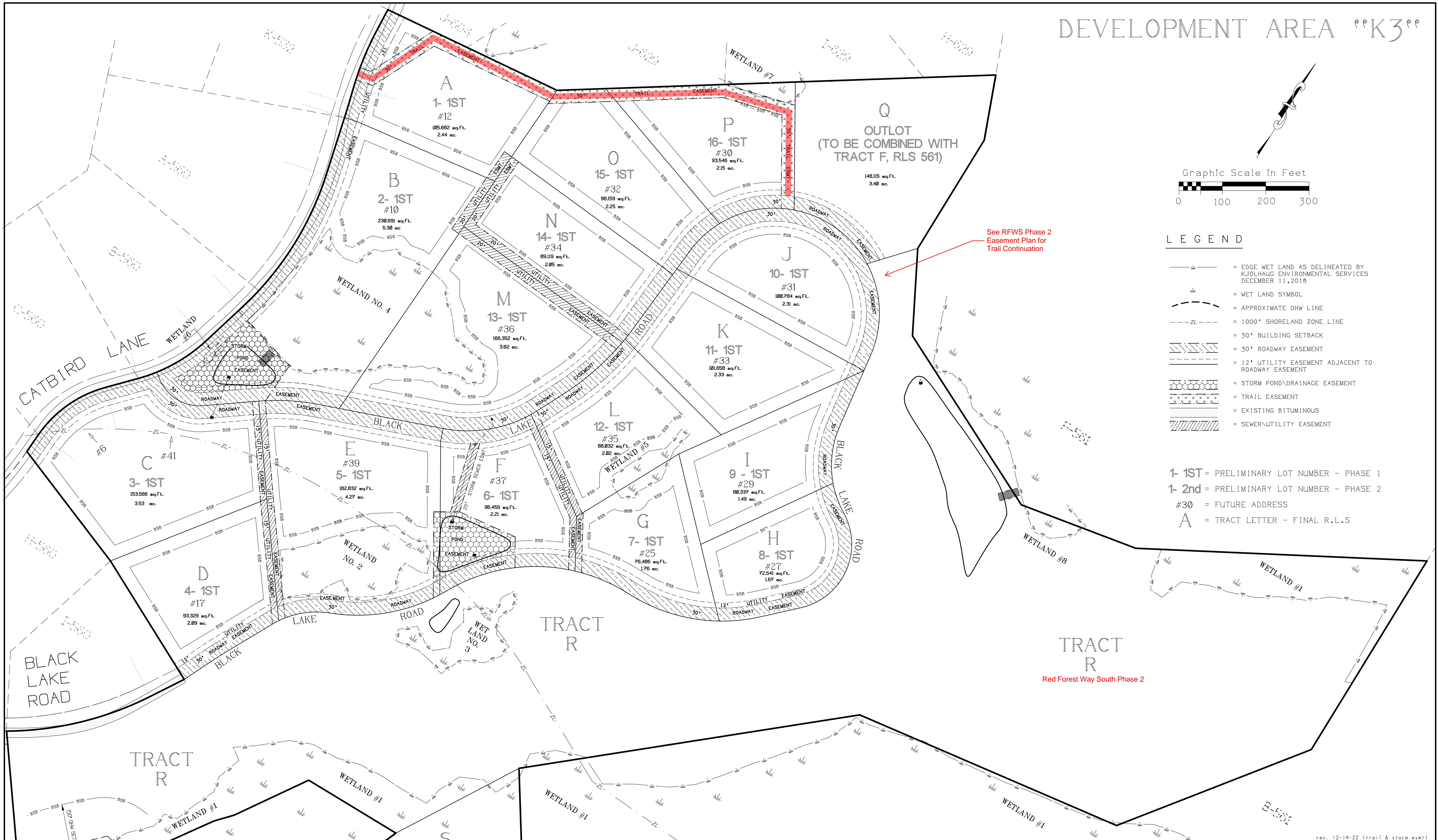


LEGEND

- = EDGE WETLAND AS DELINEATED BY KJOLHAUG ENVIRONMENTAL SERVICES DECEMBER 11, 2018
- = WETLAND SYMBOL
- = APPROXIMATE OHW LINE
- = 1000' SHORELAND ZONE LINE
- = 30' BUILDING SETBACK
- = 30' ROADWAY EASEMENT
- = 12' UTILITY EASEMENT ADJACENT TO ROADWAY EASEMENT
- = STORM POND/DRAINAGE EASEMENT
- = TRAIL EASEMENT
- = EXISTING BITUMINOUS
- = SEWER/UTILITY EASEMENT

- 1- 1ST = PRELIMINARY LOT NUMBER - PHASE 1
- 1- 2nd = PRELIMINARY LOT NUMBER - PHASE 2
- #30 = FUTURE ADDRESS
- A = TRACT LETTER - FINAL R.L.S

See RFWS Phase 2 Easement Plan for Trail Continuation



Red Forest Way South Phase 2

KURTH SURVEYING, INC.
 4002 JEFFERSON ST. N.E.
 COLUMBIA HEIGHTS, MN 55421
 PHONE: (763) 788-9769
 E-MAIL: KSI@KURTHSURVEYINGINC.COM

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.
Randy L. Kurth
 Randy L. Kurth, RLS. No. 20270
 Russell J. Kurth, RLS. No. 16113

NORTH OAKS
 COMPANY

RED FOREST WAY SOUTH

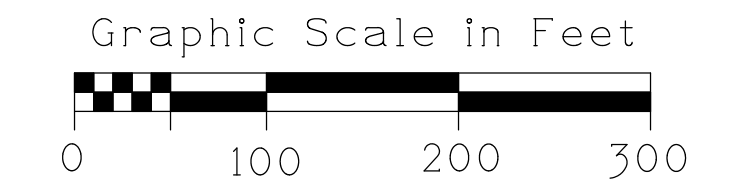
SHEET DESCRIPTION:
FINAL PLAT EASEMENT PLAN

DATE: November 29, 2021
 rev 1-21-22 (wetland no's)
 rev 2-02-22 (30' esmt on O)
 rev 6-20-22 (road realign-tract q)
 rev 7-25-22 (trail realign)
 rev 12-8-22 (add'l easements)
 rev 12-9-22 (add'l easements)

SHEET 3 OF 7 SHEETS

rev. 12-14-22 (trail & storm esmt)

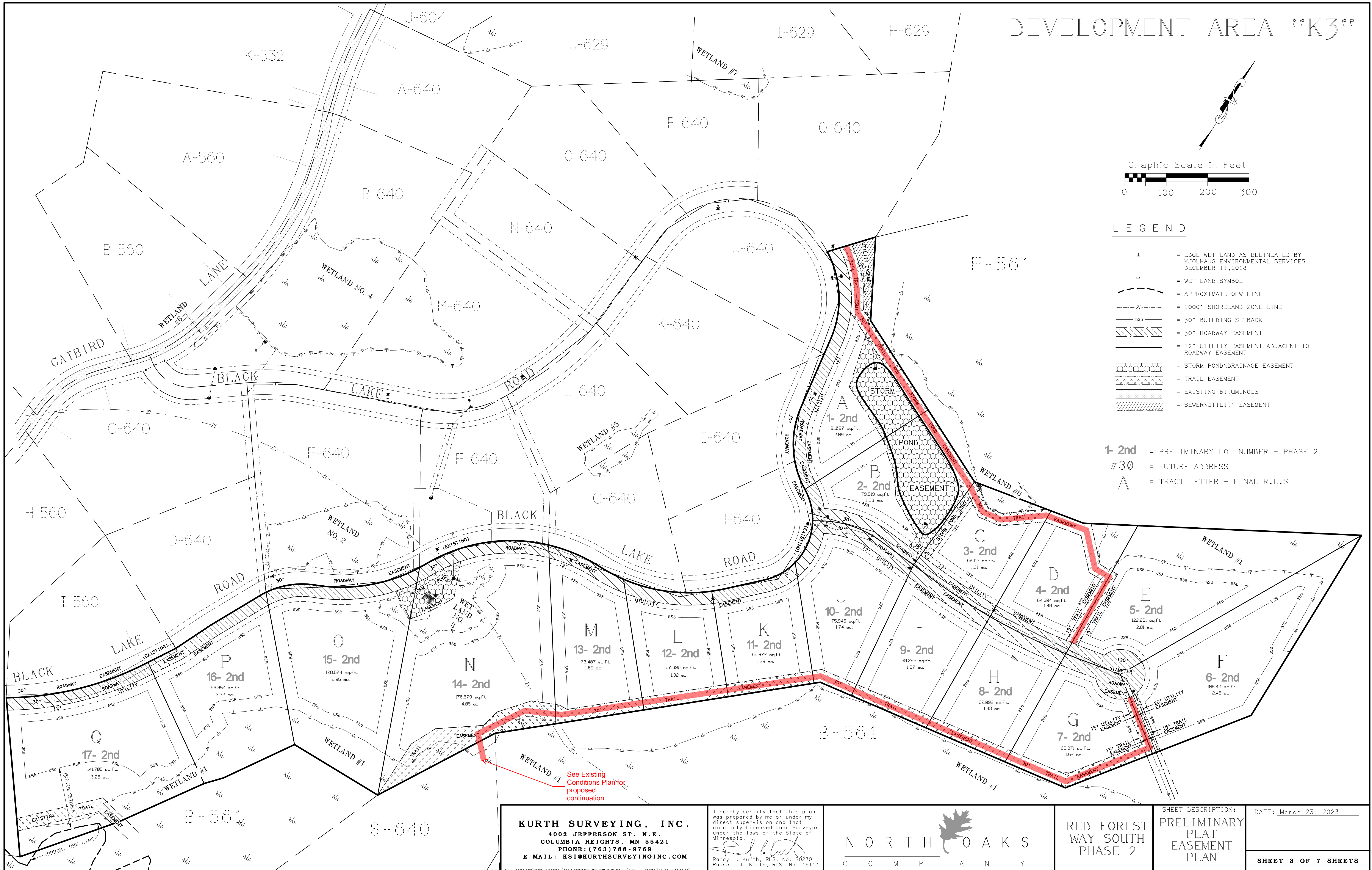
DEVELOPMENT AREA "K3"



LEGEND

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- = WET LAND SYMBOL
- = APPROXIMATE OHW LINE
- = 1000' SHORELAND ZONE LINE
- = 30' BUILDING SETBACK
- = 30' ROADWAY EASEMENT
- = 12' UTILITY EASEMENT ADJACENT TO ROADWAY EASEMENT
- = STORM POND/DRAINAGE EASEMENT
- = TRAIL EASEMENT
- = EXISTING BITUMINOUS
- = SEWER/UTILITY EASEMENT

- 1- 2nd** = PRELIMINARY LOT NUMBER - PHASE 2
- #30** = FUTURE ADDRESS
- A** = TRACT LETTER - FINAL R.L.S



See Existing Conditions Plan for proposed continuation

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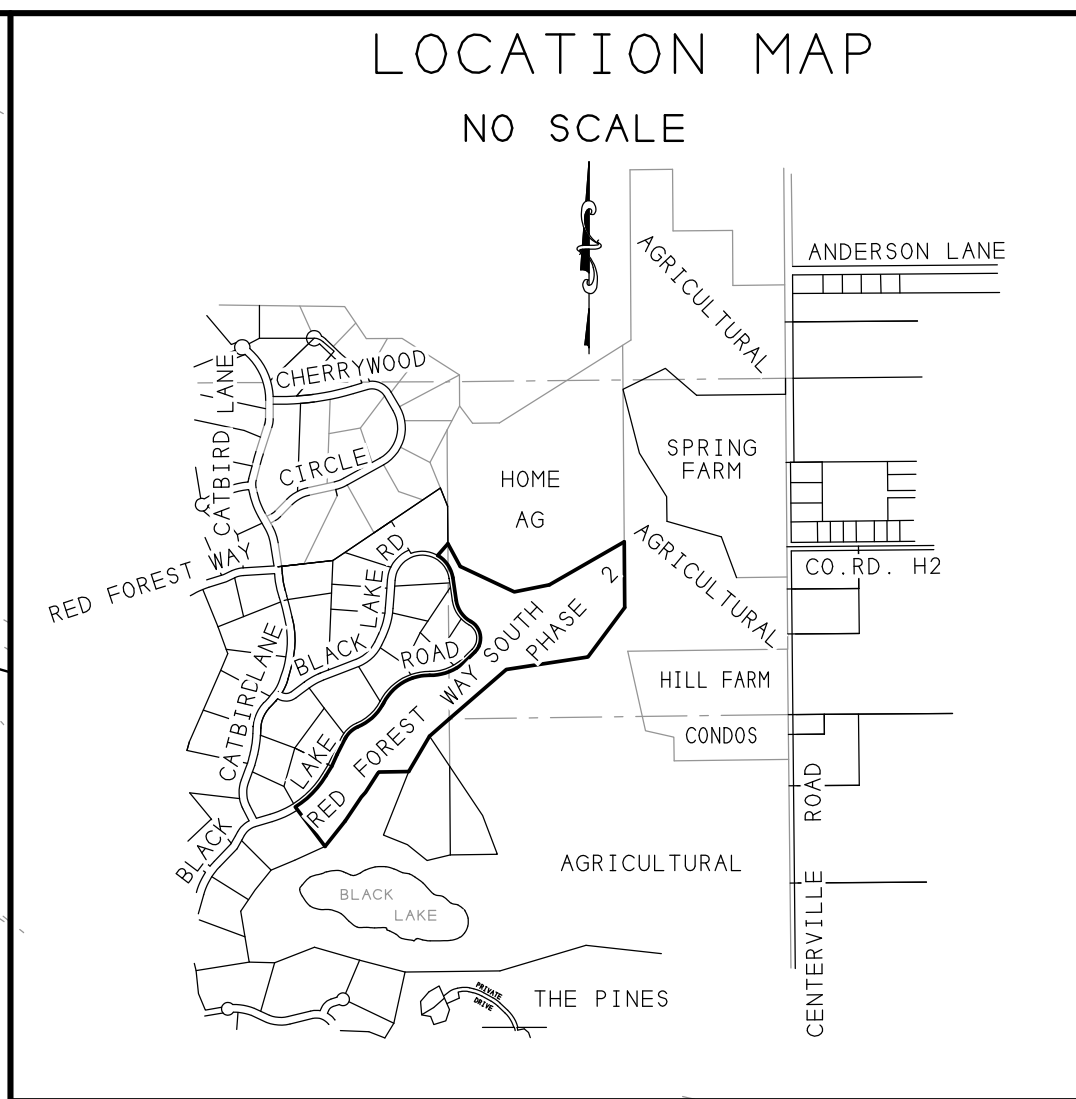
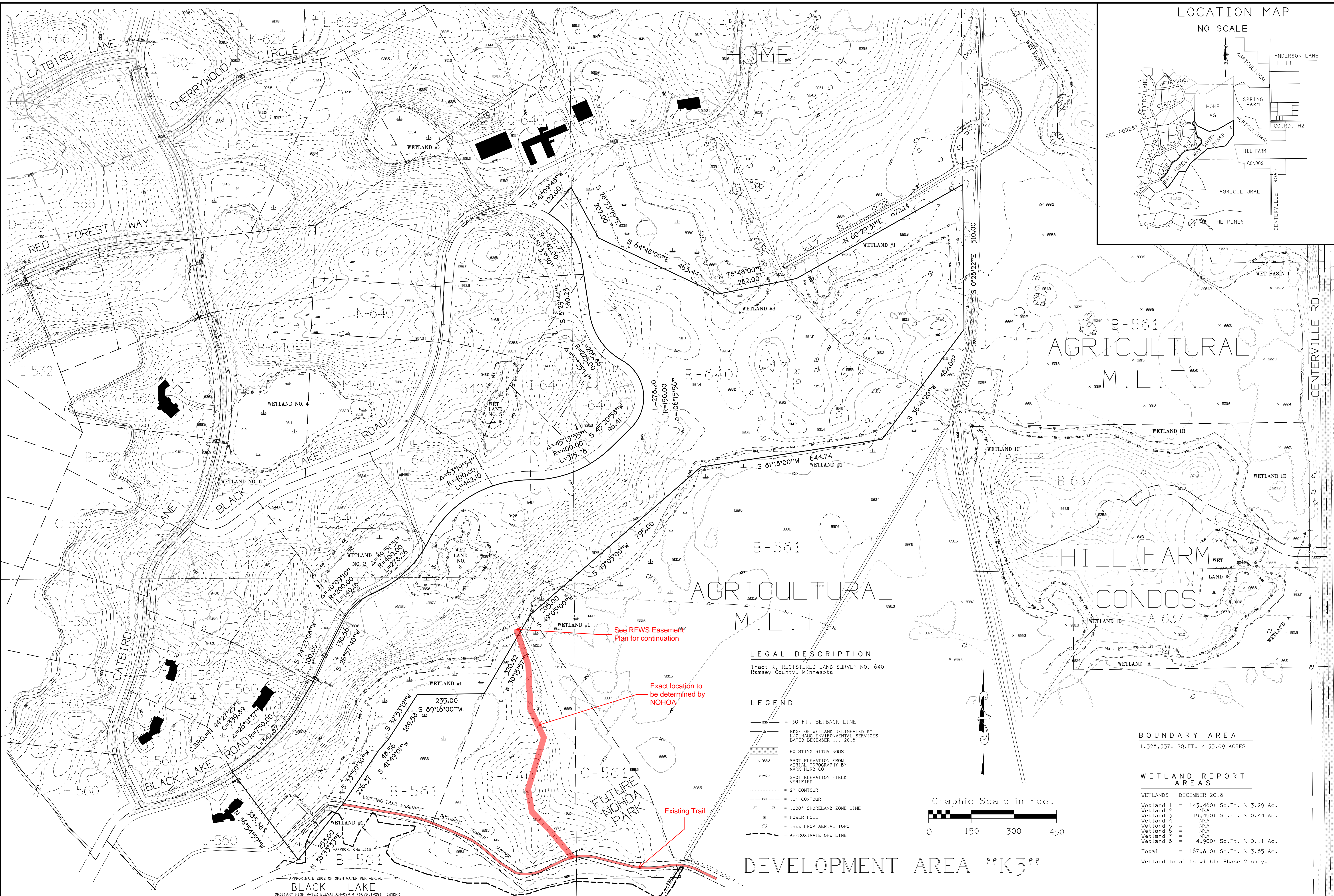
NORTH OAKS
 COMPANY

RED FOREST WAY SOUTH PHASE 2

SHEET DESCRIPTION:
PRELIMINARY PLAT EASEMENT PLAN

DATE: March 23, 2023

SHEET 3 OF 7 SHEETS



DATE: March 23, 2023

SHEET DESCRIPTION:
PRELIMINARY
OVERALL
EXISTING
CONDITIONS

PROJECT:
RED FOREST
WAY SOUTH
PHASE 2

NORTH OAKS
C O M P A N Y

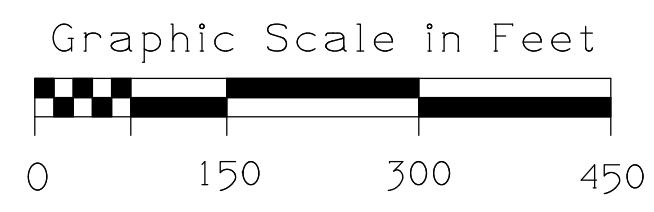
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4002 JEFFERSON ST., N.E.
COLUMBIA HEIGHTS, MN 55421
PHONE: (763) 788-9769
E-MAIL: KS@KURTHSURVEYING.COM

LEGAL DESCRIPTION
Tract R, REGISTERED LAND SURVEY NO. 640
Ramsey County, Minnesota

- LEGEND**
- = 30 FT. SETBACK LINE
 - - - - - = EDGE OF WETLAND DELINEATED BY KJOLHAUG ENVIRONMENTAL SERVICES DATED DECEMBER 11, 2016
 - ▨ = EXISTING BITUMINOUS
 - x 989.3 = SPOT ELEVATION FROM AERIAL TOPOGRAPHY BY MARK HURD CO
 - v 989.0 = SPOT ELEVATION FIELD VERIFIED
 - - - - - = 2' CONTOUR
 - - - - - = 10' CONTOUR
 - - - - - = 1000' SHORELAND ZONE LINE
 - ⊕ = POWER POLE
 - ⊙ = TREE FROM AERIAL TOPO
 - - - - - = APPROXIMATE OHW LINE



DEVELOPMENT AREA 3°K3°

BOUNDARY AREA
1,528,357+ SQ.FT. / 35.09 ACRES

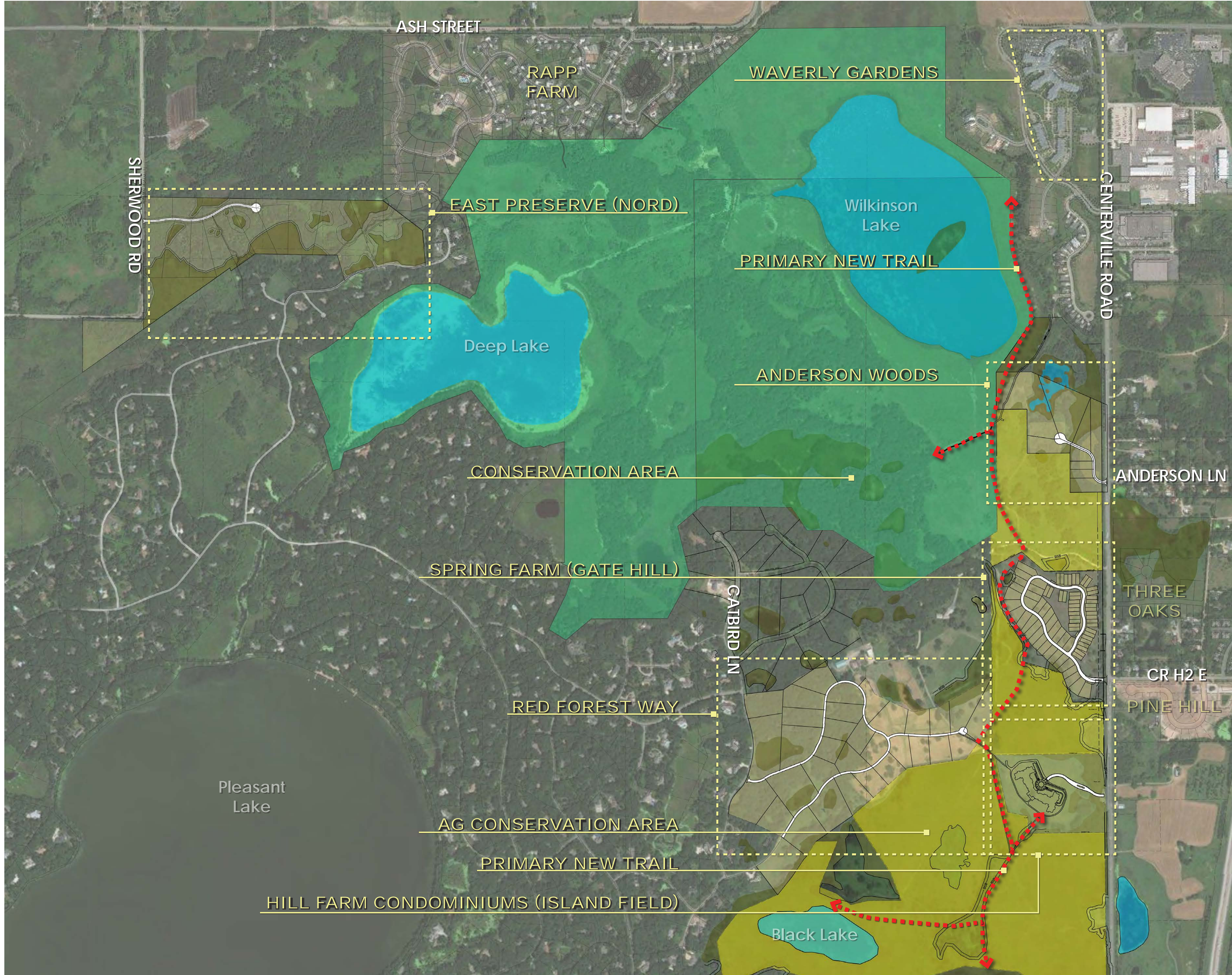
WETLAND REPORT AREAS

WETLANDS - DECEMBER-2018

Wetland 1	=	143,460+ Sq.Ft. \ 3.29 Ac.
Wetland 2	=	N/A
Wetland 3	=	19,450+ Sq.Ft. \ 0.44 Ac.
Wetland 4	=	N/A
Wetland 5	=	N/A
Wetland 6	=	N/A
Wetland 7	=	N/A
Wetland 8	=	4,900+ Sq.Ft. \ 0.11 Ac.
Total	=	167,810+ Sq.Ft. \ 3.85 Ac.

Wetland total is within Phase 2 only.

APPROXIMATE EDGE OF OPEN WATER PER AERIAL
BLACK LAKE
ORDINARY HIGH WATER ELEVATION=899.4 (INDVD,1929) (MNDNR)



LEGEND

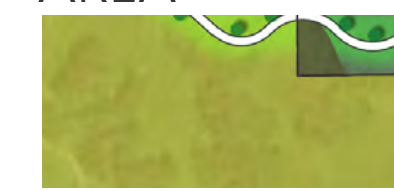
RESIDENTIAL LOT



CONSERVATION AREA



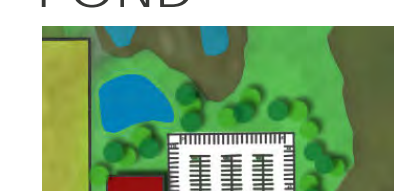
AG CONSERVATION AREA



WETLAND



POND



**CITY OF NORTH OAKS PLANNING COMMISSION
RAMSEY COUNTY, MINNESOTA
RESOLUTION NO. _____**

**RESOLUTION DETERMINING PRELIMINARY PLAN APPLICATION FOR
SUBDIVISION OF SOUTHERN PORTION OF SITE K, RED FOREST WAY
PHASE 2 (RLS 640, TRACT R) COMPLETE**

WHEREAS, the North Oaks Company, LLC (Applicant) submitted an Application for Property Subdivision (Preliminary Plan Approval) including a cover letter/narrative as well as Sheets 1.0, 4.0, 5.0, 6.1 and 7.0, the Preliminary Plat Plan, the Lot Tabulation Worksheet on March 23, 2023 for subdivision of property identified as the southern portion of Site K, Red Forest Way South, per the East Oaks Planned Unit Development Agreement (PDA) legally described as RLS 640, Tract R; Ramsey County, MN; and

WHEREAS, following a preliminary staff review, additional information was submitted to planning and engineering staff, and all

WHEREAS, additional required information and documents were received by the City of North Oaks on April 5, 2023; and

WHEREAS, pursuant to North Oaks City Code Section 152.021, the Planning Commission shall determine whether the information required by Section 152.021 (A) is complete, and, if complete, shall set a date and place for a public hearing on the Preliminary Plan Application.

NOW THEREFORE BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF NORTH OAKS:

1. The Application for Property Subdivision (Preliminary Plan/Plat) of the Red Forest Way Site submitted by the Applicant is hereby deemed **COMPLETE** as of April 5, 2023, the date that all information and documents required for the Preliminary Plan/Plat Application approval was received by the City.
2. City Staff are hereby directed to advise the Applicant of this determination of completeness.
3. The Planning Commission hereby sets a **public hearing** on the Preliminary Plan/Plat Application at ___ on _____ in the Community Room, 100 Village Center Drive, North Oaks, MN and directs staff to provide notice of the **public hearing** as required by state statutes and the provisions of the North Oaks City Code.

Approved the 12th day of April, 2023.

By: _____

Dave Cremons

Its: Chair

DRAFT - Planning Commission 2023 Calendar

Option 1 – (Wed/Thurs
combo)

JAN	26
FEB	23
MAR	30
APR	12
MAY	4 (or 10th?), 25
JUN	14, 29
JULY	12, 27
AUG	9, 31
SEPT	13, 28
OCT	11, 26
NOV	8, 30
DEC	13, 28

DRAFT - Planning Commission 2023 Calendar

Option 2 (1st & 3rd
Thursdays)

JAN	26
FEB	23
MAR	30
APR	12
MAY	4 (or 10th?), 18
JUN	1, 15
JULY	6, 20
AUG	3, 17
SEPT	7, 21
OCT	5, 19
NOV	2, 16
DEC	7, 21

PLANNING REPORT

TO: North Oaks Planning Commission

FROM: Kendra Lindahl, City Planner
Kevin Kress, City Administrator
Bridget Nason, City Attorney,
Tim Korby and John Morast City Engineers

DATE: April 12, 2023

RE: Potential Ordinance Updates

BACKGROUND

City staff has identified several ordinance amendments that should be considered for updates. City Administrator Kress confirmed with the City Council that they would like staff to work with the Planning Commission to update Title XV (Land Use) of the City Code, which includes the Zoning Code.

ISSUES AND ANALYSIS

A regular review of City ordinances is good planning practice and staff has developed a list of ordinance amendments and related efforts that should be considered. This list includes the following zoning items:

- a. Add back in the PC process that was deleted in 2018.
- b. Consider elimination for the CUP for building height.
- c. Consider elimination or revision of CUP for grading over 100 c.y.
- d. Update Zoning Map to correct inconsistencies and errors.
- e. Consider modifying the sign ordinance so signs can be permitted without a Conditional Use Permit (CUP).
- f. Consider modifications to garage standards.
- g. Consider revisions to septic standards to reduce the number of variances.
- h. Consider reformatting the ordinance for better readability and searchability.

Staff would like to prioritize the first four items on this list. A discussion of what that effort would include is summarized below for Commission consideration:

- **Planning Commission Process.** The City Code states that Title 150.083 of the Code shall regulate procedures for amendments. During our research on this section of the Code, staff determined that the adoption of an ordinance on October 9, 2019 inadvertently struck Title 150.083 and several other important governing regulations from the Code. The ability to amend a Comprehensive Plan,



a City's flagship guiding planning document, is crucial to City governing. We recommend updating the Code to restore these Planning Commission procedures as our first priority.

- **Building Height.** The City reviews many conditional use permit requests to allow homes to exceed 35 feet in height. The current ordinance contains six standards that must be met to grant the conditional use permit (the sixth standard is compliance with the general CUP standards) and if these standards are met the City grants the CUP. Staff is not aware of any recent CUPs that were denied if they met these standards. Therefore, staff would recommend an amendment to allow an administrative approval process that would allow staff to approve the building if these standards (or a modified version) are met:
 - a. The front elevation of the building does not exceed 35 feet in height at any point.
 - b. The building height at any other elevation does not exceed 45 feet.
 - c. The environmental and topographical conditions of the lot prior to building development are naturally suited to the design of a building with an egress or walkout level
 - d. Buildings shall be limited to a basement and 2 full stories. Finished areas within the roof structure will be considered a full story.
 - e. Any time the side or rear elevations of a building exceed 35 feet in height within 50 feet of adjacent lot lines, the building shall be setback an additional 2 feet from the adjacent setback line for each foot in height above 35 feet.
- **Grading.** The current ordinance requires a CUP for a land disturbance of more than 100 cubic yards. Staff is not aware of any recent CUP applications for land disturbance that were denied. Therefore, staff would recommend an administrative approval process that would establish standards for review and approval. This would include a review of environmental conditions, topographic conditions and some discussion/clarification of what "naturally suited to a design of a building with an egress or walkout" means in North Oaks.
- **Update the Zoning Map** to be consistent with the adopted Comprehensive Plan and correct some inconsistencies and errors on the existing map.

REQUESTED ACTION

The Planning Commission should provide feedback on the proposed ordinance amendments.

Staff would like to begin bringing ordinance updates for Planning Commission review in May.

cc: Roberta Colotti, NOHOA

