



CITY OF NORTH OAKS

**Regular City Council Meeting
Thursday, September 09, 2021
7 PM, Community Meeting Room, 100 Village Center Drive
MEETING AGENDA**

Remote Access - City Council members will participate by telephone or other electronic means pursuant to Minn. Stat. §13D.021. Any person wishing to monitor the meeting electronically from a remote location may do so by calling the following Zoom meeting videoconference number: 1-312-626-6799, Webinar ID: 879 4809 7990 or by joining the meeting via the following link: <https://us02web.zoom.us/j/87948097990>. Individuals wishing to monitor the meeting remotely may do so in real time by watching the livestream of the meeting on North Oaks Channel 16 and on the City's website. Due to the existing COVID-19 Health Pandemic, no more than five (5) members of the public may be in Council Chambers (Community Room, 100 Village Center Drive, MN) during the meeting. Once room capacity is met, anyone wishing to attend the meeting above the five (5) members of the public who may be present in the room during the meeting will be required to monitor the meeting remotely.

1. Call to Order

2. Roll Call

3. Pledge of Allegiance

4. Citizen Comments - Members of the public are invited to make comments to the Council during the public comments section. Up to four minutes shall be allowed for each speaker. No action will be taken by the Council on items raised during the public comment period unless the item appears as an agenda item for action.

5. Approval of Agenda

6. Consent Agenda - These are items that are considered routine and can be acted upon with one vote.

6a. Approval of City Council meeting minutes of August 12, 2021.

[08.12.2021 City Council Minutes.pdf](#)

6b. Approval of Licenses:

Arborist: North Woods Industries, LLC;

6c. Resolution approving wage adjustment

[Resolution 1431 Approving wage increase DB.pdf](#)

6d. Resolution approving wage adjustment

[Resolution 1432 Approving wage increase LK.pdf](#)

6e. Approval of City Financials:

EFT: 00464E - 00470E, Check#014079 - #014123

[Check Detail & Summary.pdf](#)

[Graphs & Charts .pdf](#)

[Budget YTD.pdf](#)

7. Petitions, Requests & Communications -

Deputy Mike Burrell Report

8. Unfinished Business

9. New Business

9a. Consider approval of application for final plan/plat/subdivision for the Gate Hill Development Site (Site G of the 1999 East Oaks PDA legally described as Tract G, REGISTERED LAND SURVEY NO. 561, RAMSEY COUNTY, MINNESOTA), and associated JPA for water and sewer services with White Bear Township

[Gate Hill - Final Subdivision - Final memo.pdf](#)

[Gate Hill Final Plan Exhibits.pdf](#)

[Gate Hill Final Plan Checklist final kk.pdf](#)

[September 8 - Gate Hill - HR Green Final Plan Review Comments.pdf](#)

[NOHOA Comments Final Plan Gate Hill.pdf](#)

[Resolution 1433 Approving Final Plat GH 9-9-21 kkfinal.pdf](#)

[Resolution Denying Final PlatGH.pdf](#)

9b. Approve resolution setting 2022 preliminary budget/levy

[DRAFT 2022 Budget 09-02-21.xlsx](#)

[Property tax levy spreadsheet 090221.xlsx](#)

[Resolution Approving Prelim 2022 Tax Levy.pdf](#)

9c. Discussion and possible action on joint powers agreement Shoreview, Arden Hills, and North Oaks for Lake

Johanna Fire Department

[JPA re Fire Station Headquarters draft.pdf](#)

10. Council Member Reports

11. City Administrator Reports

12. **City Attorney Reports**

13. **Miscellaneous**

City Forester August 2021 Report

[August in Review.pdf](#)

14. **Adjournment** - *The next meeting of the City Council is Thursday, October 14, 2021.*

**North Oaks City Council
Meeting Minutes
North Oaks City Council Chambers
August 12, 2021**

1. CALL TO ORDER

Mayor Ries called the special meeting to order on August 12, 2021 at 7:00 p.m. She noted masks are being worn in the Chambers this evening due to increased infections and the Council currently sits closer than 6 feet apart.

2. ROLL CALL

Present: Mayor Kara Ries. Councilmembers Rich Dujmovic, Jim Hara, Sara Shah, Tom Watson
Staff Present: Administrator Kevin Kress, Attorney Jim Thomson, Engineer Tim Korby
Others Present: Videographer Maureen Anderson, Deputy Mike Burrell,
A quorum was declared present.

3. PLEDGE OF ALLEGIANCE

Mayor Ries led the Council in the Pledge of Allegiance.

4. CITIZEN COMMENTS

None.

5. APPROVAL OF AGENDA

MOTION by Member Watson, seconded by Member Hara, to approve the Agenda. Motion carried unanimously.

6. CONSENT AGENDA

a. Approval of Licenses: Mechanical: Culpepper Heating & Cooling; MSP Plumbing Heating & Air; Sedgwick Heating; Arborist: Alliance Tree Care

b. Approval of One Day Liquor License for 2021 Farm Fest - Hill Farm Historical Society

c. Approval of July 8, 2021 City Council Meeting Minutes

**d. Approval of City Financials:
EFT: 000454E - 000463E,
Check #014056 – 014096**

e. Approval of License Application to Make Retail Sales of Cigarette and Other Tobacco Products - Founders Cigar Company

f. Approval of resolution of support LJFD, Shoreview, Arden Hills, North Oaks

Mayor Ries would like to remove Item E from the Consent Agenda.

MOTION by Member Watson, seconded by Member Dujmovic, to approve the Consent Agenda removing item 3. Motion carried unanimously.

e. Approval of License Application to Make Retail Sales of Cigarette and Other Tobacco Products - Founders Cigar Company

Brian Schmittiel, one of the owners of Founders Cigar Company joined the meeting via Zoom. He noted they are an e-commerce, veteran-owned business, and they do not sell cigarettes but retail premium cigars; the website is at www.founderscigar.com

Mayor Ries noted the Applicant filled out a license application for a retailer; she looked at the address which is a P.O. Box at the UPS Store. She contacted the MN Department of Revenue that does these applications and spoke with the person that regulates tobacco. She noted they cannot have a P.O. Box as the retail store location, and the license must be displayed in the window for inspection. She thinks Mr. Schmittiel needs to work with the MN Department of Revenue regarding this application as it is not something the City Council can approve this evening.

MOTION by Member Watson, seconded by Member Shah, to table item e, Approval of License Application for Founders Cigar Company. Motion carried unanimously.

7. PETITIONS, REQUESTS & COMMUNICATIONS

a. Deputy Mike Burrell Report

Deputy Burrell updated the City Council and said general crime trends in North Oaks are fairly low; there have been a lot of frauds asking people to buy gift cards or purchase through Apple Pay, there were several instances of vandalism committed by juveniles such as trash can fires at West Rec, damaged stop signs, and traffic complaints. Solicitors have come into North Oaks recently, and some have high-pressure tactics including a group called Inner City Solutions that came into the North Oaks, Shoreview, St. Paul, and other areas. Deputy Burrell stated this is a complete scam, many of the people are criminals who go around and tell people to give them money in a very aggressive manner. Deputy Burrell caught one of them in Shoreview and the man he spoke with clearly had some substance abuse issues and could barely speak as he was so impaired. This is not a person the Deputy would recommend giving any money to, even if someone feels sorry for them. Deputy Burrell noted there seems to be some confusion as to the role of NOHOA, the City, and the Sheriff's Department; he clarified if something deals with ordinances or crimes it should go to the Sheriff's Office.

8. UNFINISHED BUSINESS

a. Authorization to initiate deer management program

Administrator Kress stated they are looking at doing a field survey flyover and getting proposals from companies regarding deer management.

Member Watson noted they terminated the contract for the season the previous year. The Natural Resources Commission (NRC) had talked about how this program had been handled in recent years. They usually do a flyover just before Christmas or around the first of the year which

would also give an opportunity to look at data and where animals are located, noting they have not had an aerial count since 2014.

The Council discussed the deer management program, costs, and how to go forward. The City Council decided to pass this item to the Natural Resources Commission and the Tick Task Force.

b. Update on 319 Wilkinson project

Member Watson gave an update; the project has been approved by the Board and is waiting for funding decisions with the EPA. The budget has increased because a number of other projects that were candidates for this funding have bailed. The project is sitting at \$590,760 of which the EPA monies will be 60% of that. The remaining 40% is split by VLAWMO (20%) and the North Oaks Company (20%).

Mayor Ries asked Mr. Korby to discuss the newer boardwalk materials.

Engineer Korby stated it is becoming pretty common to put in elevated boardwalks and with newer materials they should last 40 years without much maintenance. He showed examples that his landscape architects put together and a slide show of photos of elevated boardwalks. He noted the up-front cost is a little more but the maintenance for the next 40 years is lower.

Member Shah is concerned that the Mayor gave the engineer direction without Council direction and stated it is NOHOA's responsibility for the trails, so this is out of their territory.

Mr. Korby replied it is part of the general services.

The City Council discussed the contract and what general services means, and whether this is a public, City item or a NOHOA item.

9. NEW BUSINESS

a. Discussion and possible action on septic variance application for property located at 12 Swallow Lane

Member Hara wonders why the City Council as lay people are spending time on this item as they have a team of experts who have given recommendations.

Administrator Kress said it is a resolution and he spoke with Member Watson and Mayor Ries; he and Member Watson agreed with Member Hara that it could be part of the Consent Agenda but the Mayor disagreed.

Member Shah could see these in the Consent Agenda as well, as they have a spectacular Planning Commission who are vetting these, as well as the City Attorney, Admin, Septic Inspector Humpal, and they are all thoroughly reviewing this.

Mayor Ries explained why this should not be on the Consent Agenda which is because it is not a CUP which could possibly be on the Consent Agenda, but it is a variance for a septic and needs

the Council record because it is the vote. The Planning Commission is reviewing and making a recommendation, but at the City Council it is where the record gets created.

Member Hara agrees if it is a governmental, procedural thing. However, he does not think the Council should be spending time challenging the experts as to how they did it.

MOTION by Member Watson, seconded by Member Hara, to approve Resolution #1428 septic variance for property located at 12 Swallow Lane.

Septic Inspector Humpal explained the property deals with extremely excessive slopes – in excess of 30% in most cases - and drainage-ways so the only area available is the flat area to the north of the property.

Motion carried unanimously.

9. Discussion and possible action on CUP for garage and land reclamation for property located at 12 Cherrywood Circle

Administrator Kress stated this resolution has been fully vetted by Planning Commission, City Engineer, Administrator Kress, site visits took place, and Staff and Planning Commission recommend approval.

MOTION by Member Watson, seconded by Member Shah, to approve Resolution #1429 CUP for garage and land reclamation for property located at 12 Cherrywood Circle.

Mayor Ries asked about the Floor Area Ratio (FAR).

Administrator Kress replied it is a foot-and-a-half, 6% or so, and depends on any modifications made prior to actual building permit issuance.

Member Hara recused himself from the vote as he knows the Applicant.

Motion carried unanimously, with the Councilmember Hara abstaining.

c. Discussion and possible action on CUP for land reclamation for property located at 2 Lost Rock Lane

Administrator Kress said this application was to fill in the backside of the house – he believes it was a teardown of a pool – and a rebuild some of the grade on the site.

MOTION by Member Watson, seconded by Member Dujmovic, to approve Resolution #1430 CUP for land reclamation for property located at 2 Lost Rock Lane. Motion carried unanimously.

d. Overview of 2022 Budget

Mayor Ries noted they do not have to set the levy until the end of September but she wanted the new Council to have time to look at this, although they are not voting on anything tonight. If

there is additional information the Council would like, she wanted to give Stephanie Marty time to prepare and get that information.

Administrator Kress noted they have already made modifications to what is in front of the Council tonight and they will continue to do that. He asked the Council to think bigger picture rather than line-by-line.

Member Watson suggested putting together a finance team of two Council Members to meet with Administrator Kress and Ms. Marty to review the details on the budget, vet it, consult, get more information, and noted they will be dealing with personnel compensation matters, as well.

Member Shah would be interested. Member Dujmovic is equally-willing.

Attorney Thomson said they are not violating anything and he said two people can volunteer to report back to the Council.

Member Watson would recommend Member Hara and Mayor Ries.

Attorney Thomson noted they do not necessarily need a motion if there is a consensus or agreement of the Councilmembers on who to appoint if they want Member Hara and Mayor Ries to meet with City Staff to prepare the preliminary and more-detailed draft of the budget to come back to the Council for consideration.

e. Overview of parking ordinance

Administrator Kress noted the City has its own parking ordinance and it was brought up in discussions with NOHOA who asked the City to look at the ordinance material to beef up some of the parking restrictions. NOHOA sent some examples from Minneapolis and St. Paul to look at and the City is waiting for some more feedback from NOHOA on the ordinance. Once they receive that feedback they may put together a formal request to the Council to make some modifications to the parking ordinance to strengthen both City and NOHOA enforcement if possible.

Member Dujmovic asked how do they better prosecute trespassing in North Oaks as it has been difficult and many judges may not treat it with priority. An alternative to trespassing is a parking violation which may be easier to enforce – not as painful – but perhaps just painful enough that someone would think about a second time trespassing as opposed to getting charged and nothing happening. Perhaps it will deter behavior.

Mayor Ries has questions about how the process would work, what allocation of police resources will be used, how is the ticketing going to be done; she noted the ordinance is one step and the enforcement of the ordinance is another step. She is not clear on how this would occur. They want to deter people but do not want to harass people who have guests at their house.

The Council discussed having conversations with NOHOA, the fact that every piece of property within the community is private, and the complexity of the situation.

f. Discussion on City newsletter and options available for marketing

Administrator Kress stated Staff is looking to the Council as to what they would like to see regarding marketing platforms; right now they have Facebook, e-blast, and some e-alerts, but there is not a formal newsletter.

Member Shah noted they have many vehicles already including Facebook, e-blast, website, NineNorth, Facebook and asked, do they want to keep those platforms, do they want to enhance them, and what is the gap? She would love to see a communication task force that looks at a global picture of everything rather than using taxpayer money to buy something without understanding what residents are looking for.

Member Hara and Member Dujmovic agreed.

Mayor Ries clarified this began because NOHOA reworked their email blast and made things more consistent in improving their communication platforms in a more professional way. In past Council meetings there was a suggestion to go out and get a quote to see how much it would cost to restructure one of the main pieces of information – the email – to make it more streamlined and more professional. The quote was \$20,000 for a formed email blast, a newsletter, and a logo. Mayor Ries noted that is a lot of money as North Oaks is a small city and do not have that kind of a budget. She said they have amazing, creative people here and wonders if there is something they can do and reach out to people within the community. Mayor Ries clarified this is not something they have to do, but it is an idea that may save Staff time and help people recognize the communications from the City which can help prevent fraud. She noted these types of branded and templated emails is an additional safety mechanism for people to recognize the true source. She clarified that is what initiated it but whether the City does anything with it, is up to the Council to decide.

The Council discussed the current format of the communication, what they may want for the future, and how to fit that into the budget. It was decided that Member Shah and Member Dujmovic will work with Administrator Kress to bring a recommendation back to the City Council.

g. Discussion and possible action on emergency order resolution

Attorney Thomson stated the State law that authorized North Oaks and all other cities to start holding meetings remotely by electronic means says a city can do that if 1) the mayor first declares that public meetings in person are not warranted or justified because of a statewide or local emergency or 2) because of a pandemic. That declaration was approved by the City Council and later extended by the City Council by a subsequent resolution. The Governor has terminated the statewide emergency and North Oaks' emergency technically still remains in effect; however, they still have the authority to conduct meetings remotely because of the pandemic. In Attorney Thomson's opinion there is adequate factual support for that so they could continue under current resolutions to meet remotely if that is their choice. It is the City Council's discretion or call whether to terminate that.

The City Council decided to retain the resolution.

10. COUNCIL MEMBER REPORTS

Member Hara had a great time at Night to Unite and there were lots of children which was nice to see. Dave Cremons and Member Hara had a meeting with NOHOA Executive Director Mikeya Griffin regarding a pathway to Chippewa School that is no longer available to the children and the alternative route is not deemed to be safe; they will be looking at other options.

Member Dujmovic circulated a draft script of the welcome to North Oaks video and has incorporated the feedback and will get it in front of NOHOA for their edits. He met with Under Sheriff Jeff Ramacher and Commander Phil Bavenroth in preparation for budgeting discussions, policing, and costs as it is a significant portion of the budget and the services the City receives. Two crimes that have increased are mail theft and fraud; these scams are getting increasingly sophisticated as they find out personal information and use it to establish legitimacy. Member Dujmovic said not to trust that as there are people who, for example, are posing as drug enforcement agents and have said that drug traffickers have stolen your identification information and say in order to catch them one must send money to an account so they will be able to trace that account. He gave other examples regarding Snapchat, social media, and antivirus renewal scams.

Member Watson noted he apologized to Gretchen Needham of the *North Oaks News* after the previous month's meeting and spoke with her boss Carter Johnson in depth. He spoke about Mel's services and said they put up all the stop signs and traffic signs in the City and Member Watson does not have a problem with that; he would submit that the City ought to be responsible for where stop signs are, the speed limits, walking zones, etcetera. Member Watson would like to be careful that the City and NOHOA do not have conflicts. He would like to sit down with NOHOA and look at their policies relative to the City's ordinances and making the two compatible. He also thinks it is a matter of sorting out authority on some of these things as it manifests in duplications in budgets.

Mayor Ries suggested setting up a town hall meeting with NOHOA this fall to discuss some of the issues.

Member Shah noted VLAWMO Tech meetings have moved back in person. She has received numerous comments from residents concerning the Mayor's Column the last few months in the *North Oaks News*. Member Shah would like it on the record that what Mayor Ries wrote – particularly in the August issue – is inaccurate, she is misrepresenting the facts, twisting reality, not factual, and Member Shah disagrees. Member Shah commented on some of the specific things she disagreed with.

Mayor Ries reminded Member Shah this is the time for reports on what the Members have done as it related to assignments, liaison assignments, etcetera.

Mayor Ries reported Night to Unite was a very successful event and she appreciates Ramsey County's participation, and Mike Burrell did a wonderful job engaging with the children. She thanked Deb Breen, the Wilkinson folks, and said all the parties were well-organized and a great way to get outside and chat with neighbors. CTV is back in their studio, it is a great space and very professionally done. She attended the local Mayors' Zoom meeting and appreciates the

input that is provided. Mayor Ries said the Mayor’s Column is an opportunity for the Mayor to express their personal opinion and is kind of an editorial; it is a special thing and Mayors in the recent past have gone above and beyond in expressing their own personal opinions. Mayor Ries has moderated her opinion in comparison to former Mayors. She was on the Council when many of the former resolutions passed and that was the opinion of the former Council; she stated this Council is a new Council and she refuses to live in the past and they do not need to legally; they think for themselves and they all have their own opinions which is what makes them great. If Mayor Ries disagrees with the former Council, that is her right. She has not said that anything was done illegally – she simply provided her own opinion about various matters.

11. CITY ADMINISTRATOR REPORTS

Administrator Kress wants to make sure the Council saw the HUD email he sent earlier in the day.

Engineer Korby gave a report including stop sign height, gave examples of the projects he and Administrator Kress have talked about recently including Anderson Woods, MS-4 permit, Nord Development, Red Forest Way, Island Field, the Country Club sanitary sewer, and other projects.

12. CITY ATTORNEY REPORTS - None.

13. MISCELLANEOUS

a. July 2021 Forester Report

14. ADJOURNMENT

Member Watson moved, Member Hara seconded to adjourn the meeting at 9:47 p.m. Motion carried unanimously.

Kevin Kress, City Administrator

Kara Ries, Mayor

Date approved _____

**CITY OF NORTH OAKS
RAMSEY COUNTY, MINNESOTA
RESOLUTION NO. 1431**

RESOLUTION APPROVING A WAGE INCREASE

WHEREAS, Administrative Assistant, Deb Breen recently received her annual performance review conducted by the City Administrator; and

WHEREAS, based on the performance review, she is eligible for a pay increase in accordance to the City's Personnel Policy; and

WHEREAS, the City Administrator is recommending she receive a wage increase to \$24.50 effective on her anniversary date.

NOW THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF NORTH OAKS, that Deb Breen receive a wage increase to \$24.50 effective on her anniversary date.

Adopted by the City Council of the City of North Oaks this 9th day of September, 2021.

By: _____
Kara Ries
Its: Mayor

Attested:

By: _____
Kevin Kress
Its: City Administrator

**CITY OF NORTH OAKS
RAMSEY COUNTY, MINNESOTA
RESOLUTION NO. 1432**

RESOLUTION APPROVING A WAGE INCREASE

WHEREAS, Administrative Assistant, Lauren Kavan recently received her 6-month performance review conducted by the City Administrator; and

WHEREAS, based on the performance review, she is eligible for a pay increase in accordance to the City's Personnel Policy; and

WHEREAS, the City Administrator is recommending she receive a wage increase to \$23.00 effective for the first payroll in September.

NOW THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF NORTH OAKS, that Lauren Kavan receive a wage increase to \$23.00 effective at the next payroll in September.

Adopted by the City Council of the City of North Oaks this 9th day of September, 2021.

By: _____
Kara Ries
Its: Mayor

Attested:

By: _____
Kevin Kress
Its: City Administrator

***Check Summary Register©**

Cks 8/13/2021 - 9/9/2021

Name Check Date Check Amt

10100 Checking

Paid Chk# 000464E	PAYROLL	8/16/2021	\$9,039.10	Full time staff
Paid Chk# 000465E	P E R A	8/16/2021	\$1,251.04	PP 08/19/21
Paid Chk# 000466E	ADP	8/19/2021	\$113.58	PR 08/19/21
Paid Chk# 000467E	PAYROLL	8/30/2021	\$9,053.00	Full time staff
Paid Chk# 000468E	P E R A	8/30/2021	\$1,252.98	PP 09/02/21
Paid Chk# 000470E	ADP	9/2/2021	\$113.58	PR 09/02/21
Paid Chk# 014097	ASSOCIATION FOR NONSMOKE	9/9/2021	\$174.00	Tobacco Compliance Project
Paid Chk# 014098	City of Roseville	9/9/2021	\$1,678.24	September IT Services
Paid Chk# 014099	COMCAST	9/9/2021	\$454.29	Dark Fiber - August
Paid Chk# 014100	Connexus Energy	9/9/2021	\$6.29	5919 Centerville
Paid Chk# 014101	Gopher State One-Call, Inc.	9/9/2021	\$120.15	Monthly Services - August
Paid Chk# 014102	HR Green, Inc.	9/9/2021	\$39,132.61	NO CC Engineering Review - NOG
Paid Chk# 014103	Kelly & Lemmons, P.A.	9/9/2021	\$1,000.00	Prosecution Services - August
Paid Chk# 014104	Kennedy & Graven, Chartered	9/9/2021	\$22,036.50	General
Paid Chk# 014105	League of Minnesota Cities May	9/9/2021	\$5,969.00	MN Mayors Assoc. Membership
Paid Chk# 014106	Leonard Carl Prof Services	9/9/2021	\$11,824.11	10.75 hours @ \$70/hour
Paid Chk# 014107	Madison National Life	9/9/2021	\$170.94	LTD & STD
Paid Chk# 014108	Marco, Inc.	9/9/2021	\$702.81	Copier Rental
Paid Chk# 014109	Metro Council Envir Srvc-Sewer	9/9/2021	\$5,952.76	Monthly Sewer
Paid Chk# 014110	MN PEIP	9/9/2021	\$1,795.73	Coverage 10/1/21 - 10/31/21
Paid Chk# 014111	NineNorth	9/9/2021	\$1,106.00	July Cablecasting
Paid Chk# 014112	North Oaks Village Center LLC	9/9/2021	\$8,786.82	Rent & Operating Expenses
Paid Chk# 014113	Peterson-Waddle Recycling	9/9/2021	\$24,951.67	Storage Rent
Paid Chk# 014114	Premium Waters, Inc.	9/9/2021	\$6.00	Equipment & Water Service
Paid Chk# 014115	Press Publications	9/9/2021	\$69.08	Gliffilan Aeration
Paid Chk# 014116	Ramsey County Elections	9/9/2021	\$4,430.00	3rd Qtr Election Services
Paid Chk# 014117	Ramsey County Public Records	9/9/2021	\$92.00	Recording Fee - CUP 2 Lost Roc
Paid Chk# 014118	Ramsey County Sheriff	9/9/2021	\$72,729.63	Police & CSO - September
Paid Chk# 014119	Ramsey County-Emergency Comm	9/9/2021	\$1,377.25	CAD Services - August
Paid Chk# 014120	REHDER FORESTRY CONSULTI	9/9/2021	\$7,220.50	August 2021 Forestry
Paid Chk# 014121	Timesaver Off Site Secretarial	9/9/2021	\$295.00	August Meetings
Paid Chk# 014122	White Bear Township	9/9/2021	\$4,450.00	Water Hook-Up 27 Phoebe
Paid Chk# 014123	Xcel Energy	9/9/2021	\$1,419.80	Liftstation #5, 302894636
Total Checks			\$238,774.46	

Mayor Kara Ries

Jim Hara

Sara Shah

Thomas Watson

Rich Dujmovic

FILTER: None

***Check Summary Register©**

Cks 8/13/2021 - 9/9/2021

Name	Check Date	Check Amt	
10100 Checking			
Paid Chk# 000464E PAYROLL	8/16/2021	\$9,039.10	Full time staff
Paid Chk# 000465E P E R A	8/16/2021	\$1,251.04	PP 08/19/21
Paid Chk# 000466E ADP	8/19/2021	\$113.58	PR 08/19/21
Paid Chk# 000467E PAYROLL	8/30/2021	\$9,053.00	Full time staff
Paid Chk# 000468E P E R A	8/30/2021	\$1,252.98	PP 09/02/21
Paid Chk# 000470E ADP	9/2/2021	\$113.58	PR 09/02/21
Paid Chk# 014097 ASSOCIATION FOR NONSMOKE	9/9/2021	\$174.00	Tobacco Compliance Project
Paid Chk# 014098 City of Roseville	9/9/2021	\$1,878.24	September IT Services
Paid Chk# 014099 COMCAST	9/9/2021	\$454.29	Dark Fiber - August
Paid Chk# 014100 Connexus Energy	9/9/2021	\$6.29	5919 Centerville
Paid Chk# 014101 Gopher State One-Call, Inc.	9/9/2021	\$120.15	Monthly Services - August
Paid Chk# 014102 HR Green, Inc.	9/9/2021	\$39,132.61	NO CC Engineering Review - NOG
Paid Chk# 014103 Kelly & Lemmons, P.A.	9/9/2021	\$1,000.00	Prosecution Services - August
Paid Chk# 014104 Kennedy & Graven, Chartered	9/9/2021	\$22,036.50	General
Paid Chk# 014105 League of Minnesota Cities May	9/9/2021	\$5,969.00	MN Mayors Assoc. Membership
Paid Chk# 014106 Leonard Carl Prof Services	9/9/2021	\$11,824.11	10.75 hours @ \$70/hour
Paid Chk# 014107 Madison National Life	9/9/2021	\$170.94	LTD & STD
Paid Chk# 014108 Marco, Inc.	9/9/2021	\$702.81	Copier Rental
Paid Chk# 014109 Metro Council Envir Svc-Sewer	9/9/2021	\$5,952.76	Monthly Sewer
Paid Chk# 014110 MN PEIP	9/9/2021	\$1,795.73	Coverage 10/1/21 - 10/31/21
Paid Chk# 014111 NineNorth	9/9/2021	\$1,106.00	July Cablecasting
Paid Chk# 014112 North Oaks Village Center LLC	9/9/2021	\$8,786.82	Rent & Operating Expenses
Paid Chk# 014113 Peterson-Waddle Recycling	9/9/2021	\$24,951.67	Storage Rent
Paid Chk# 014114 Premium Waters, Inc.	9/9/2021	\$6.00	Equipment & Water Service
Paid Chk# 014115 Press Publications	9/9/2021	\$69.08	Giffilian Aeration
Paid Chk# 014116 Ramsey County Elections	9/9/2021	\$4,430.00	3rd Qtr Election Services
Paid Chk# 014117 Ramsey County Public Records	9/9/2021	\$92.00	Recording Fee - CUP 2 Lost Roc
Paid Chk# 014118 Ramsey County Sheriff	9/9/2021	\$72,729.63	Police & CSO - September
Paid Chk# 014119 Ramsey County-Emergency Comm	9/9/2021	\$1,377.25	CAD Services - August
Paid Chk# 014120 REHDER FORESTRY CONSULTI	9/9/2021	\$7,220.50	August 2021 Forestry
Paid Chk# 014121 Timesaver Off Site Secretarial	9/9/2021	\$295.00	August Meetings
Paid Chk# 014122 White Bear Township	9/9/2021	\$4,450.00	Water Hook-Up 27 Phoebe
Paid Chk# 014123 Xcel Energy	9/9/2021	\$1,419.80	Liftstation #5, 302894636
	Total Checks	\$238,774.46	

Mayor Kara Ries

Jim Hara

Sara Shah

Thomas Watson

Rich Dujmovic

FILTER: None

NORTH OAKS

09/08/21 11:34 AM

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Cks 8/13/2021 - 9/9/2021

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10100 Checking

Paid Chk# 000464E 8/16/2021 PAYROLL

E 101-41300-101	WAGES - FULL TIME	\$7,321.18	081921	Full time staff
E 101-41300-103	WAGES - PART TIME/TEMP	\$1,815.13	081921	Part time Staff
E 101-41300-131	HEALTH, DENTAL, LIFE, LTD IN	\$870.20	081921	PERA (7.5%)
E 101-41300-122	FICA CONTRIBUTIONS	\$683.63	081921	FICA
G 101-21701	FEDERAL TAXES PAYABLE	\$1,049.18	081921	FWH
G 101-21701	FEDERAL TAXES PAYABLE	(\$1,049.18)	081921	FWH
E 101-41300-131	HEALTH, DENTAL, LIFE, LTD IN	(\$1,251.04)	081921	PERA
G 101-21702	STATE TAXES PAYABLE	\$421.57	081921	SWH
G 101-21702	STATE TAXES PAYABLE	(\$421.57)	081921	SWH
Total PAYROLL		\$9,039.10		

Paid Chk# 000465E 8/16/2021 P E R A

E 101-41300-131	HEALTH, DENTAL, LIFE, LTD IN	\$1,251.04	PP 08/19/21	PP 08/19/21
Total P E R A		\$1,251.04		

Paid Chk# 000466E 8/19/2021 ADP

E 101-41300-131	HEALTH, DENTAL, LIFE, LTD IN	\$113.58		PR 08/19/21
Total ADP		\$113.58		

Paid Chk# 000467E 8/30/2021 PAYROLL

E 101-41300-101	WAGES - FULL TIME	\$7,321.18	090221	Full time staff
E 101-41300-103	WAGES - PART TIME/TEMP	\$1,295.56	090221	Part time Staff
E 101-41300-131	HEALTH, DENTAL, LIFE, LTD IN	\$871.23	090221	PERA (7.5%)
E 101-41300-122	FICA CONTRIBUTIONS	\$684.68	090221	FICA
G 101-21701	FEDERAL TAXES PAYABLE	\$1,113.12	090221	FWH
G 101-21701	FEDERAL TAXES PAYABLE	(\$1,113.12)	090221	FWH
E 101-41300-131	HEALTH, DENTAL, LIFE, LTD IN	(\$1,252.98)	090221	PERA
G 101-21702	STATE TAXES PAYABLE	\$411.24	090221	SWH
G 101-21702	STATE TAXES PAYABLE	(\$411.24)	090221	SWH
E 101-41300-132	CAR ALLOWANCE	\$333.33	090221	Car Allowance
Total PAYROLL		\$9,053.00		

Paid Chk# 000468E 8/30/2021 P E R A

E 101-41300-131	HEALTH, DENTAL, LIFE, LTD IN	\$1,252.98	PP 09/02/21	PP 09/02/21
Total P E R A		\$1,252.98		

Paid Chk# 000470E 9/2/2021 ADP

E 101-41300-131	HEALTH, DENTAL, LIFE, LTD IN	\$113.58		PR 09/02/21
Total ADP		\$113.58		

Paid Chk# 014097 9/9/2021 ASSOCIATION FOR NONSMOKERS

E 101-42400-300	PROFESSIONAL SERVICES	\$174.00	076-082621	Tobacco Compliance Project
Total ASSOCIATION FOR NONSMOKERS		\$174.00		

Paid Chk# 014098 9/9/2021 City of Roseville

E 101-41300-309	COMPUTER/INTERNET/GIS SU	\$1,678.24		September IT Services
Total City of Roseville		\$1,678.24		

Paid Chk# 014099 9/9/2021 COMCAST

E 101-41300-309	COMPUTER/INTERNET/GIS SU	\$454.29		Dark Fiber - August
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NORTH OAKS

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Cks 8/13/2021 - 9/9/2021

Check Amt Invoice Comment

			Check Amt	Invoice	Comment
Total COMCAST			\$454.29		
Paid Chk#	014100	9/9/2021 Connexus Energy			
E 101-43100-381	ELECTRIC UTILITIES		\$6.29		5919 Centerville
Total Connexus Energy			\$6.29		
Paid Chk#	014101	9/9/2021 Gopher State One-Call, Inc.			
E 101-42300-300	PROFESSIONAL SERVICES		\$120.15		Monthly Services - August
Total Gopher State One-Call, Inc.			\$120.15		
Paid Chk#	014102	9/9/2021 HR GREEN, INC.			
G 801-22012	RED FOREST WAY II ESCROW		\$352.50		Red Forest Way
E 101-41900-303	ENGINEERING SERVICES		\$1,000.00		General Services
E 101-41900-303	ENGINEERING SERVICES		\$1,000.00		Meetings
G 801-22018	EAST OAKS PUD ESCROW		\$14,768.74		Anderson Woods
G 801-22020	NORD ESCROW		\$1,037.36		Nord
G 801-22018	EAST OAKS PUD ESCROW		\$8,929.58		Island Field
E 400-41910-303	ENGINEERING SERVICES		\$175.00		North Oaks Comp Plan
G 801-22018	EAST OAKS PUD ESCROW		\$9,768.75		Gate Hill
E 101-41900-303	ENGINEERING SERVICES		\$2,048.18		NO CC Engineering Review - NOGC
E 101-41900-303	ENGINEERING SERVICES		\$52.50		20 Evergreen Bluff Review
Total HR GREEN, INC.			\$39,132.61		
Paid Chk#	014103	9/9/2021 Kelly & Lemmons, P.A.			
E 101-41600-315	LEGAL FEES - PROSECUTION		\$1,000.00		Prosecution Services - August
Total Kelly & Lemmons, P.A.			\$1,000.00		
Paid Chk#	014104	9/9/2021 KENNEDY & GRAVEN, CHARTERED			
E 101-41600-304	LEGAL FEES - GENERAL		\$8,468.00	07/31/21	General
G 801-22020	NORD ESCROW		\$125.00	07/31/21	Nord Development
G 801-22018	EAST OAKS PUD ESCROW		\$7,670.50	07/31/21	Anderson Woods
G 801-22018	EAST OAKS PUD ESCROW		\$7,150.00	07/31/21	Anderson Woods
G 801-22018	EAST OAKS PUD ESCROW		\$625.00	07/31/21	Gate Hill
Total KENNEDY & GRAVEN, CHARTERED			\$22,038.50		
Paid Chk#	014105	9/9/2021 League of Minnesota Cities May			
E 101-41100-433	DUES AND SUBSCRIPTIONS		\$30.00		MN Mayors Assoc. Membership
E 101-41100-433	DUES AND SUBSCRIPTIONS		\$5,939.00	Invoice 348184	Membership Dues
Total League of Minnesota Cities May			\$5,969.00		
Paid Chk#	014106	9/9/2021 LEONARD CARL PROF SERVICES			
E 101-42400-313	CONTRACT SERVICES		\$11,071.61		August Permits & Plan Review
E 101-42400-313	CONTRACT SERVICES		\$752.50		10.75 hours @ \$70/hour
Total LEONARD CARL PROF SERVICES			\$11,824.11		
Paid Chk#	014107	9/9/2021 Madison National Life			
E 101-41300-131	HEALTH, DENTAL, LIFE, LTD IN		\$170.94		LTD & STD
Total Madison National Life			\$170.94		
Paid Chk#	014108	9/9/2021 Marco, Inc.			
E 101-41300-210	OPERATING SUPPLIES		\$702.81		Copier Rental
Total Marco, Inc.			\$702.81		
Paid Chk#	014109	9/9/2021 Metro Council Envir Srvcs-Sewer			

NORTH OAKS

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Cks 8/13/2021 - 9/9/2021

			Check Amt	Invoice	Comment
E 602-49450-385	SEWER		\$5,952.76	October 2021	Monthly Sewer
Total	Metro Council Envir Srvc-Sewer		\$5,952.76		
Paid Chk# 014110	9/9/2021	MN PEIP			
E 101-41300-131	HEALTH, DENTAL, LIFE, LTD IN		\$1,795.73		Coverage 10/1/21 - 10/31/21
	Total MN PEIP		\$1,795.73		
Paid Chk# 014111	9/9/2021	NINENORTH			
E 101-41420-300	PROFESSIONAL SERVICES		\$1,106.00	2021-156	July Cablecasting
	Total NINENORTH		\$1,106.00		
Paid Chk# 014112	9/9/2021	North Oaks Village Center LLC			
E 101-41300-410	RENTALS		\$8,786.82		Rent & Operating Expenses
	Total North Oaks Village Center LLC		\$8,786.82		
Paid Chk# 014113	9/9/2021	Peterson-Waddle Recycling			
E 101-43200-384	RECYCLING		\$22,790.94	083121	Monthly services
E 101-43200-384	RECYCLING		\$350.00	083121	Cart Delivery & Repair
E 101-43200-384	RECYCLING		\$254.51	083121	Fuel Charge
E 101-43200-384	RECYCLING		\$150.00	083121	Storage Rent
E 101-43200-384	RECYCLING		\$1,406.22	083121	COVID 19 Volume Surcharge (July)
	Total Peterson-Waddle Recycling		\$24,951.67		
Paid Chk# 014114	9/9/2021	Premium Waters, Inc.			
E 101-41300-210	OPERATING SUPPLIES		\$6.00	501338-08-21	Equipment & Water Service
	Total Premium Waters, Inc.		\$6.00		
Paid Chk# 014115	9/9/2021	Press Publications			
E 101-41100-350	PUBLISHING & ADVERTISING		\$69.08		Giffilan Aeration
	Total Press Publications		\$69.08		
Paid Chk# 014116	9/9/2021	Ramsey County Elections			
E 101-41400-300	PROFESSIONAL SERVICES		\$4,430.00	PRRRV-00163	3rd Qtr Election Services
	Total Ramsey County Elections		\$4,430.00		
Paid Chk# 014117	9/9/2021	RAMSEY COUNTY PUBLIC RECORDS			
E 101-41100-350	PUBLISHING & ADVERTISING		\$46.00		Recording Fee - CUP 2 Lost Rock
E 101-41100-350	PUBLISHING & ADVERTISING		\$46.00		Recording Fee - CUP 12 Cherrywood
	Total RAMSEY COUNTY PUBLIC RECORDS		\$92.00		
Paid Chk# 014118	9/9/2021	Ramsey County Sheriff			
E 101-42100-313	CONTRACT SERVICES		\$72,729.63		Police & CSO - September
	Total Ramsey County Sheriff		\$72,729.63		
Paid Chk# 014119	9/9/2021	Ramsey County-Emergency Commun			
E 101-42100-313	CONTRACT SERVICES		\$1,203.09		911 Dispatch - August
E 101-42100-313	CONTRACT SERVICES		\$164.80		CAD Services - August
E 101-42100-313	CONTRACT SERVICES		\$9.36		Fleet Support - August
	Total Ramsey County-Emergency Commun		\$1,377.25		
Paid Chk# 014120	9/9/2021	REHDER FORESTRY CONSULTING			
E 101-46100-316	TREE PRESERVATION		\$7,220.50		August 2021 Forestry
	Total REHDER FORESTRY CONSULTING		\$7,220.50		

NORTH OAKS

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Cks 8/13/2021 - 9/9/2021

			Check Amt	Invoice	Comment
Paid Chk# 014121 9/9/2021 TIMESAVER OFF SITE SECRETARIAL					
E 101-41100-313	CONTRACT SERVICES		\$295.00	M26689	August Meetings
Total TIMESAVER OFF SITE SECRETARIAL			\$295.00		
Paid Chk# 014122 9/9/2021 White Bear Township					
E 601-49400-383	WATER - WBT		\$4,450.00		Water Hook-Up 27 Phoebe
Total White Bear Township			\$4,450.00		
Paid Chk# 014123 9/9/2021 Xcel Energy					
E 101-41300-381	ELECTRIC UTILITIES		\$127.34	743983819	City 303586928 & 302708070
E 101-43100-381	ELECTRIC UTILITIES		\$99.56	743983819	Signals 303740120 & 303839695
E 101-43100-381	ELECTRIC UTILITIES		\$54.75	743983819	Street Lighting
E 602-49450-381	ELECTRIC UTILITIES		\$17.89	743983819	28 Osprey Ct., 304097160
E 406-43000-381	ELECTRIC UTILITIES		\$11.69	743983819	8 Poplar Ln Aeration
E 406-43000-381	ELECTRIC UTILITIES		\$776.68	743983819	7 Willow Rd 51-0572815-6
E 601-49400-255	WATER METERS		\$43.81	743983819	24 Maycomb, 304471197
E 602-49450-430	MISCELLANEOUS EXPENSE		\$41.63	743983819	Liftstation #3, 302366925
E 602-49450-430	MISCELLANEOUS EXPENSE		\$18.24	743983819	Liftstation #1, 302660004
E 602-49450-430	MISCELLANEOUS EXPENSE		\$29.98	743983819	Liftstation #5, 302894636
E 602-49450-430	MISCELLANEOUS EXPENSE		\$32.66	743983819	Liftstation #2, 302953888
E 602-49450-430	MISCELLANEOUS EXPENSE		\$65.32	743983819	Liftstation #9, 304097091
E 602-49450-430	MISCELLANEOUS EXPENSE		\$26.43	743983819	Liftstation #11, 304464164
E 602-49450-430	MISCELLANEOUS EXPENSE		\$73.82	743983819	Wilkinson Blvd, 304097283
Total Xcel Energy			\$1,419.80		
10100 Checking			\$238,774.46		

Fund Summary

10100 Checking	
101 GENERAL	\$176,631.12
400 SPECIAL PROJECTS	\$175.00
406 LGWA	\$788.37
601 WATER	\$4,493.81
602 SEWER	\$6,258.73
801 ESCROWS	\$50,427.43
	\$238,774.46

Mayor Kara Ries

Jim Hara

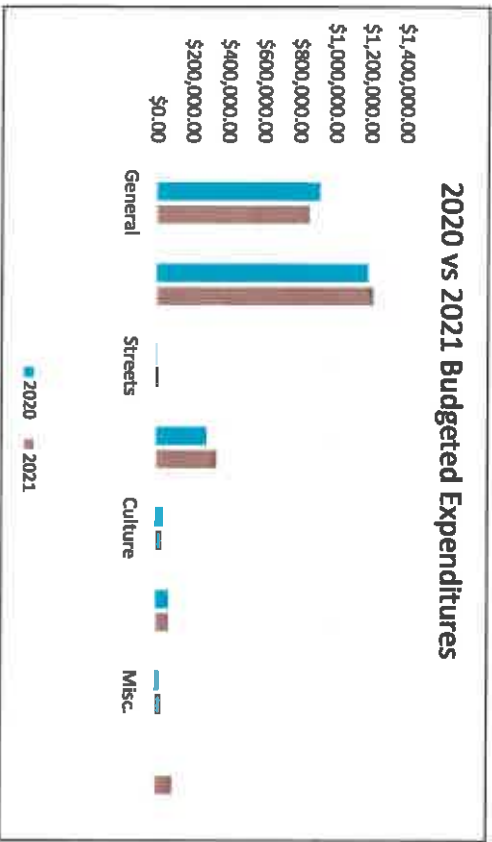
Sara Shah

Thomas Watson

Rich Dujmovic

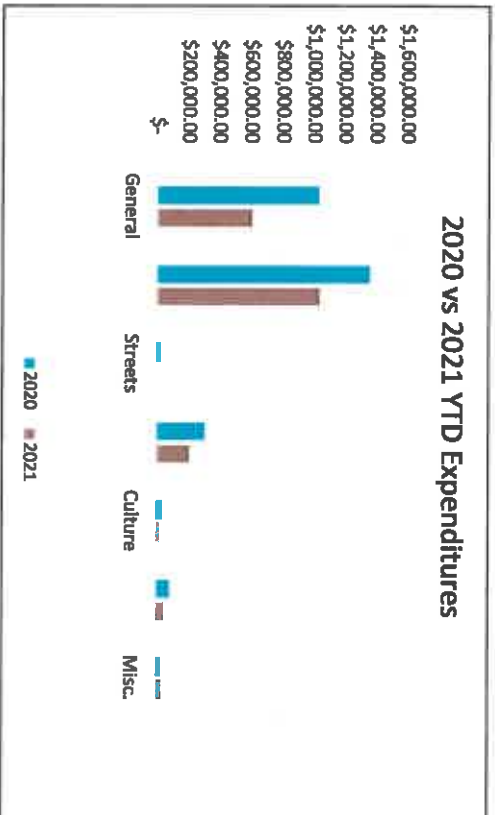
2021 Budgeted Expenditures

	2020	2021
General	\$917,843.00	\$858,535.00
Public Safety	\$1,190,628.00	\$1,221,185.00
Streets	\$5,000.00	\$17,500.00
Sanitation	\$287,000.00	\$342,000.00
Culture	\$41,000.00	\$30,000.00
Natural Resource	\$76,500.00	\$76,500.00
Misc.	\$22,200.00	\$31,000.00
Transfer out/addl public safety		\$100,000.00



2021 YTD Expenditures

	2020	2021
General	\$ 1,037,646.57	\$613,308.34
Public Safety	\$ 1,366,018.63	\$1,044,291.21
Streets	\$ 23,131.37	\$1,109.85
Sanitation	\$ 313,294.82	\$211,982.94
Culture	\$ 37,721.37	\$18,639.03
Natural Resource	\$ 88,929.18	\$43,199.62
Misc.	\$ 29,560.73	\$27,239.04
Transfer out/addl public safety		\$0.00



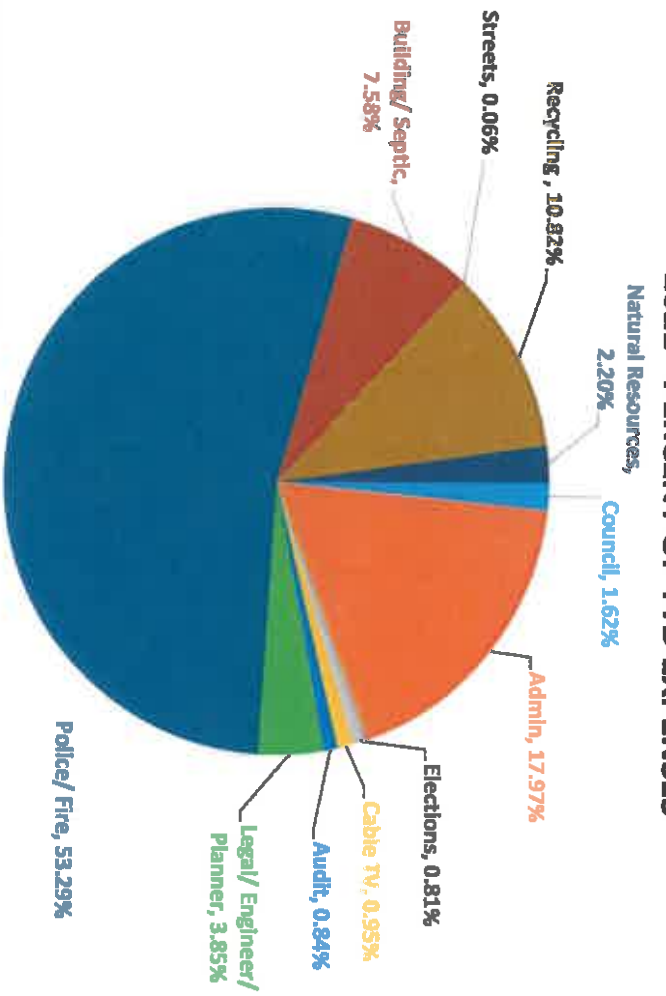
2021 Approved Budget with 2021 YTD/ % Of Budget vs. Actual/ Actual Expenses with % of Budget

	2021 Approved Budget	2021 YTD Actual	% of Budget vs. Actual	1,959,770.03
Council	\$ 44,950	\$ 31,784	70.71%	1.62%
Admin	\$ 567,685	\$ 352,223	62.05%	17.97%
Elections	\$ 18,000	\$ 15,910	88.39%	0.81%
Cable TV	\$ 30,000	\$ 18,639	62.13%	0.95%
Audit	\$ 16,400	\$ 16,500	100.61%	0.84%
Legal/ Engineer/ Planner	\$ 103,500	\$ 75,546	72.99%	3.85%
Police/ Fire	\$ 1,221,185	\$ 1,044,291	85.51%	53.29%
Building/ Septic	\$ 139,000	\$ 148,584	106.90%	7.58%
Streets	\$ 17,500	\$ 1,110	6.34%	0.06%
Recycling	\$ 342,000	\$ 211,983	61.98%	10.82%
Natural Resources	\$ 76,500	\$ 43,200	56.47%	2.20%
Transfers	\$ -	\$ -		0.00%

2020 & 2021 Actual Budget with Percentages

	2020 Approved Budget	2020 YTD	2021 Approved Budget	2021 YTD	% of Budget vs. Actual
Council	\$34,900	\$42,106	\$559,569	\$31,784	70.71%
Admin	\$567,685	\$534,966	\$567,685	\$352,223	62.05%
Elections	\$18,000	\$15,276	\$18,000	\$15,910	88.39%
Cable TV	\$41,000	\$37,721	\$41,000	\$18,639	62.13%
Audit	\$16,000	\$16,000	\$16,000	\$16,500	100.61%
Legal/ Engineer/ Planner	\$103,000	\$110,692	\$103,000	\$75,546	72.99%
Police/ Fire	\$1,152,262	\$1,181,841	\$1,152,262	\$1,044,291	85.51%
Building/ Septic	\$139,000	\$284,962	\$139,000	\$148,584	106.90%
Streets	\$5,000	\$23,131	\$5,000	\$1,110	6.34%
Recycling	\$287,000	\$313,295	\$287,000	\$211,983	61.98%
Natural Resources	\$76,500	\$88,929	\$76,500	\$43,200	56.47%

2021 - PERCENT OF YTD EXPENSES



CITY OF NORTH OAKS APPROVED 2021 BUDGET

Updated 09/09/21

APPROVED 2021 EXPENDITURES

ActCode	DEPT Descr	OBJ Descr	2020 Budget	12/31/20	% of Budget	UnderLine	2021 Budget	9/9/2021	% of Budget
101-41100-103	LEGISLATIVE -	WAGES - PART TIME/TEMP	\$12,200	\$12,645.00	103.65%	CC/PC wages 675/mayor;	\$13,950.00	\$4,545.00	32.58%
101-41100-311	LEGISLATIVE -	CONFERENCES/SEMINARS	\$1,500	\$224.00	14.93%		\$1,500.00	\$573.85	38.26%
101-41100-313	LEGISLATIVE -	CONTRACT SERVICES	\$0.00	\$10,636.41		Timesavers	\$12,000.00	\$7,575.50	
101-41100-350	LEGISLATIVE -	PUBLISHING & ADVERTISING	\$3,500	\$2,018.72	57.68%	Legal/P.H	\$2,500.00	\$1,959.26	78.37%
101-41100-433	LEGISLATIVE -	DUES AND SUBSCRIPTIONS	\$17,200	\$16,681.60	96.99%	NWYFS/LMC/MCMA	\$15,000.00	\$17,130.43	114.20%
101-41300-101	CITY	WAGES - FULL TIME	\$181,113	\$178,203.70	98.39%		\$188,000.00	\$124,567.00	66.26%
101-41300-103	CITY	WAGES - PART TIME/TEMP	\$48,515	\$51,863.28	106.90%		\$48,500.00	\$29,385.13	60.59%
101-41300-122	CITY	FICA CONTRIBUTIONS	\$17,567	\$18,751.45	106.74%		\$18,666.00	\$12,968.59	69.48%
101-41300-127	CITY	DEFERRED COMP	\$0	\$0.00				\$0.00	
101-41300-131	CITY	HEALTH, DENTAL, LIFE, LTD INS	\$60,484	\$43,028.08	71.14%	Car/PERA/Health	\$82,519.00	\$32,443.57	39.32%
101-41300-131	CITY	CAR ALLOWANCE	\$4,000	\$3,999.96	100.00%	Car Allowance	\$4,000.00	\$2,999.97	75.00%
101-41300-210	CITY	OPERATING SUPPLIES	\$27,000	\$16,645.19	61.65%	Office/IT/Software	\$30,000.00	\$15,037.20	50.12%
101-41300-309	CITY	COMPUTER/INTERNET/GIS	\$18,348	\$56,586.87	308.41%	Granicus/Polco/Comcast	\$30,000.00	\$26,134.04	87.11%
101-41300-310	CITY	TRAINING	\$9,800	\$742.46	7.58%	League/MCMA/MAMA	\$9,800.00	\$920.00	9.39%
101-41300-321	CITY	TELEPHONE SERVICES	\$1,742	\$0.00	0.00%			\$0.00	
101-41300-322	CITY	MAILBOXES	\$0	\$11,312.00		passthrough	\$10,000.00	\$2,316.00	
101-41300-350	CITY	PUBLISHING & ADVERTISING	\$0.00	\$92.00		CUP Filings		\$0.00	
101-41300-360	CITY	INSURANCE	\$20,000	\$17,755.00	88.78%		\$20,000.00	\$18,613.00	93.07%
101-41300-381	CITY	ELECTRIC UTILITIES	\$1,000	\$1,178.46	117.85%		\$1,200.00	\$745.36	62.11%
101-41300-410	CITY	RENTALS	\$130,000	\$106,167.56	81.67%	Office Rent	\$110,000.00	\$80,017.60	72.74%
101-41300-430	CITY	MISCELLANEOUS EXPENSE	\$40,000	\$28,639.81	71.60%	Website/Domain/OPG	\$15,000.00	\$6,075.70	40.50%
101-41300-435	CITY	BANK SERVICE CHARGE	\$0	\$0.00			\$0	\$0.00	
101-41400-300	ELECTIONS	PROFESSIONAL SERVICES	\$18,000.00	\$15,276.07	84.87%	Election Contracts	\$18,000.00	\$15,910.07	88.39%
101-41420-300	CABLE TV	PROFESSIONAL SERVICES	\$41,000.00	\$37,721.37	92.00%		\$30,000.00	\$18,639.03	62.13%
101-41500-301	FINANCE	AUDIT SERVICES	\$16,000.00	\$16,000.00	100.00%	AEM - 3 year contract	\$16,400.00	\$16,500.00	100.61%
101-41600-304	LEGAL	LEGAL FEES - GENERAL	\$57,000.00	\$44,682.00	78.39%	Kennedy & Graven	\$60,000.00	\$21,560.50	35.93%
101-41600-315	LEGAL	LEGAL FEES - PROSECUTION	\$13,500	\$13,130.52	97.26%	Kelly & Lemmons	\$13,500.00	\$7,142.51	52.91%
101-41900-300	ENGINEERING	PROFESSIONAL SERVICES	\$2,500	\$0.00	0.00%	Wenck		\$0.00	
101-41900-303	ENGINEERING	ENGINEERING SERVICES	\$18,000	\$37,411.39	207.84%	HR Green	\$18,000.00	\$34,336.84	190.76%
101-41910-300	PLANNING	PROFESSIONAL SERVICES	\$12,000	\$15,468.00	128.90%	Bob Kirmis	\$12,000.00	\$12,505.85	104.22%
101-42100-313	POLICE	CONTRACT SERVICES	\$798,201	\$827,606.77	103.68%	Police Contract	\$838,796.00	\$665,584.67	79.35%
101-42200-313	FIRE	CONTRACT SERVICES	\$353,061	\$353,060.84	100.00%	LJFD	\$381,389.00	\$378,086.84	99.13%
101-42300-300	EMERGENCY	PROFESSIONAL SERVICES	\$1,000	\$1,173.05	117.31%	Gopher State	\$1,000.00	\$619.70	61.97%
101-42300-313	EMERGENCY	CONTRACT SERVICES		\$0.00				\$0	

APPROVED 2021 EXPENDITURES (CONTINUED)

101-42400-300	BUILDING	PROFESSIONAL SERVICES	\$1,000	\$171.00	17.10%	Other Inspections	\$1,000.00	\$174.00	17.40%
101-42400-313	BUILDING	CONTRACT SERVICES	\$120,000	\$256,379.73	213.65%		\$120,000.00	\$136,227.44	113.52%
101-42400-451	BUILDING	BUILDING PERMIT SURCHARGE	\$5,000	\$11,217.19	224.34%		\$5,000.00	\$4,732.97	94.66%
101-43100-381	STREETS	ELECTRIC UTILITIES	\$2,500	\$2,932.38	117.30%		\$2,500.00	\$1,109.85	44.39%
101-43100-408	STREETS	STREETS/SIDEWALK/CURB	\$2,500	\$20,198.99	807.96%	Mel's Service	\$15,000.00	\$0.00	0.00%
101-43200-384	RECYCLING	RECYCLING	\$275,000	\$301,854.22	109.77%		\$330,000.00	\$205,196.24	62.18%
101-43200-384	RECYCLING	RECYCLING (Clean Up Day)	\$12,000	\$11,440.60	95.34%	Clean Up/Recycle Day	\$12,000.00	\$6,786.70	56.56%
101-45100-470	RECREATION-	COMMUNITY FUNCTIONS	\$500	\$0.00	0.00%			\$0.00	
101-46100-316	NATURAL	TREE PRESERVATION	\$45,000	\$60,140.27	133.65%	City Forester	\$45,000.00	\$25,980.30	57.73%
101-46100-317	NATURAL	DEER MANAGEMENT	\$25,000	\$25,170.93	100.68%	Depends on # of deer	\$25,000.00	\$16,356.33	65.43%
101-46100-318	NATURAL	NATURAL RESOURCES	\$6,500	\$3,617.98	55.66%	NRC	\$6,500.00	\$862.99	13.28%
101-46100-319	NATURAL	WEED MANAGEMENT	\$0	\$0.00		Lake Weed Management		\$0.00	
101-49450-313	SEWER	CONTRACT SERVICES	\$13,000	\$17,194.00	132.26%	Septic Inspector	\$13,000.00	\$7,450.00	57.31%
101-49990-720	UNALLOCATED	TRANSFER OUT	\$0.00	\$148,050.00		Fire Capital	\$50,000.00		
101-49990-720	UNALLOCATED	TRANSFER OUT	\$0.00	\$0.00		Police Capital	\$50,000.00		
101-49990-720	UNALLOCATED	TRANSFER OUT	\$0.00	\$0.00		General Capital			
			\$2,432,231.00	\$2,797,068.85			\$2,676,720.00	\$1,959,770.03	

ActCode	DEPT Descr	OBJ Descr	2020 Budget	12/31/20	% of Budget	UnderLine	2021 Budget	9/9/2021	% of Budget
306-47000-601	DEBT SERVICE	BOND PRINCIPAL	\$55,000.00	\$55,000.00		LGWA Bond		\$55,000.00	
306-47000-611	DEBT SERVICE	BOND INTEREST	\$2,974.00	\$2,973.75				\$2,245.00	
306-47000-620	DEBT SERVICE	PAYING AGENT FEES	\$500.00	\$500.00				\$500.00	
400-41910-300	PLANNING	PROFESSIONAL SERVICES	\$10,000.00	\$154.30		Comp Plan		\$1,657.50	
400-41910-303	PLANNING	ENGINEERING SERVICES	\$100.00	\$3,812.63		Comp Plan		\$5,368.50	
400-43100-408	STREETS	STREETS/SIDEWALK/CURB	\$0.00	\$0.00					
400-46100-318	NATURAL	NATURAL RESOURCES	\$0.00	\$0.00					
401-42200-500	FIRE	CAPITAL OUTLAY	\$38,366.00	\$184,177.97		Fire Expenses		\$756.00	
402-49450-430	SEWER	MISCELLANEOUS EXPENSE	\$0.00	\$0.00					
403-47000-720	DEBT SERVICE	TRANSFER OUT	\$0.00	\$0.00					
403-49450-430	SEWER	MISCELLANEOUS EXPENSE	\$0.00	\$0.00					
404-42100-500	POLICE	CAPITAL OUTLAY				Police Expenses	NEW FUND	NEW FUND	
406-43000-381	PUBLIC WORKS	ELECTRIC UTILITIES	\$1,000.00	\$665.17				\$2,802.32	
WATER & SEWER									
601-41000-420	DEPRECIATION	DEPRECIATION	\$0.00	\$0.00					
601-49400-255	WATER	WATER METERS	\$0.00	\$0.00					
601-49400-313	WATER	CONTRACT		\$6,250.00					
601-49400-330	WATER	SEWER & WATER MISC	\$0.00	\$10,272.09				\$890.24	
601-49400-381	WATER	ELECTRIC UTILITIES	\$0.00	\$445.30				\$342.51	
601-49400-382	WATER	WATER - SHOREVIEW	\$0.00	\$134,623.82				\$26,231.81	
601-49400-383	WATER	WATER - WBT	\$0.00	\$40,049.00				\$21,590.00	
602-41000-420	DEPRECIATION	DEPRECIATION	\$0.00	\$0.00					
602-49450-313	SEWER	CONTRACT		\$6,250.00				\$236.32	
602-49450-381	SEWER	ELECTRIC UTILITIES	\$0.00	\$2,876.48				\$2,046.09	
602-49450-385	SEWER	SEWER	\$0.00	\$74,664.26			\$71,433.00	\$53,574.84	
602-49450-400	SEWER	REPAIRS AND MAINTENANCE	\$0.00	\$29,977.80				\$18,943.60	
602-49450-430	SEWER	MISCELLANEOUS EXPENSE	\$0.00	\$16,209.95				\$47,243.93	
602-49450-455	SEWER	SAC FEES	\$0.00	\$19,681.20				\$4,920.30	
			\$2,540,171	\$3,385,653			\$2,676,720.00	\$1,959,770.03	

Updated 09/09/21

APPROVED 2021 REVENUES

ActCode	DEPT Descr	OBJ Descr	2020 Budget	12/31/20	% of Budget	UnderLine	2021 Budget	9/9/2021	% of Budget
101-31010	COUNCIL	GENERAL PROPERTY TAXES	\$1,860,700	\$1,864,478.77	100.20%		\$1,974,877.00	\$1,038,558.74	52.59%
101-31810	COUNCIL	CABLE T.V. FEES	\$65,000	\$90,171.39	138.73%		\$65,000.00	\$49,913.86	76.79%
101-32110	COUNCIL	ALCOHOLIC BEV LICENSE	\$5,650	\$12,950.00	229.20%		\$5,650.00	\$0.00	0.00%
101-32111	COUNCIL	TOBACCO LICENSE	\$600	\$1,000.00	166.67%		\$600.00	\$0.00	0.00%
101-32112	COUNCIL	MESSAGE THERAPY LICENSE	\$50	\$50.00	100.00%		\$50.00	\$0.00	0.00%
101-32160	COUNCIL	CONTRACTOR LICENSES	\$8,000	\$14,063.00	175.79%		\$8,052.00	\$6,455.00	80.17%
101-32210	COUNCIL	BUILDING PERMIT	\$145,000	\$336,279.27	231.92%		\$145,000.00	\$200,171.60	138.05%
101-32230	COUNCIL	HEAT/PLUMB PERMIT	\$22,000	\$50,725.30	230.57%		\$22,000.00	\$19,341.85	87.92%
101-32240	COUNCIL	ANIMAL LICENSE	\$1,500	\$1,185.00	79.00%		\$1,500.00	\$825.00	55.00%
101-32260	COUNCIL	STATE SURCHARGE	\$7,000	\$11,715.56	167.37%		\$7,000.00	\$7,136.71	101.95%
101-32261	COUNCIL	ISTS PERMIT	\$4,000	\$10,695.00	267.38%		\$4,000.00	\$8,395.00	209.88%
101-32262	COUNCIL	RENTAL LICENSE FEE	\$1,000	\$900.00	90.00%		\$1,000.00	\$800.00	80.00%
101-32263	COUNCIL	SHORELAND/FORESTRY PERMIT	\$500	\$650.00	130.00%		\$500.00	\$0.00	0.00%
101-32264	COUNCIL	ISTS PUMPING RECORDS	\$5,000	\$12,488.00	249.76%		\$5,000.00	\$5,390.00	107.80%
101-33429	COUNCIL	PERA RATE INCREASE AID	\$308	\$0.00	0.00%		\$308.00	\$0.00	0.00%
101-33440	COUNCIL	SCORE GRANT	\$12,000	\$15,224.00	126.87%		\$12,000.00	\$0.00	0.00%
101-33600	COUNCIL	OTHER GOVT GRANTS/AID	\$0.00	\$399,605.00		CARES FUNDING		\$319,982.82	
101-34103	COUNCIL	VARIANCE, PUD, PLAT FEES, CUP	\$2,400	\$9,047.50	376.98%		\$2,400.00	\$4,500.00	187.50%
101-34110	COUNCIL	ELECTION FILING FEE	\$0.00	\$4.00				\$0.00	
101-34120	COUNCIL	CERTIFICATE OF OCCUPANCY FEE	\$500	\$350.00	70.00%		\$500.00	\$200.00	40.00%
101-34403	COUNCIL	RECYCLING FEES	\$0	\$0.00			\$416.00	\$8,776.85	
101-35100	COUNCIL	FINES AND FORFEITS	\$2,500	\$1,781.25	71.25%		\$2,500.00	\$2,978.41	119.14%
101-35104	COUNCIL	LATE FEES/NSF FEES	\$500	\$1,670.00	334.00%		\$500.00	\$300.00	60.00%
101-36100	COUNCIL	SPECIAL ASSESSMENTS	\$275,000	\$274,731.63	99.90%	Recycling Assessment	\$330,000	\$167,012.66	50.61%
101-36101	COUNCIL	SPECIAL ASSESSMENTS - PMC	\$2,067	\$2,067.36	100.00%	Peace Methodist Church	\$2,067	\$1,378.24	66.67%
101-36200	COUNCIL	MISCELLANEOUS REVENUES	\$2,000	\$10,304.29	515.21%	Conduit Bond & Misc	\$2,000.00	\$2,553.00	127.65%
101-36210	COUNCIL	INTEREST EARNINGS	\$20,000	\$8,324.57	41.62%		\$12,000	\$346.27	2.89%
101-36220	COUNCIL	RENTS	\$60,000	\$48,637.72	81.06%	NOHOA Rent	\$61,800.00	\$29,255.72	47.34%
101-36222	COUNCIL	COMMUNITY FUNCTIONS	\$1,000	\$545.00	54.50%	Community Mtg Room	\$1,000.00	\$292.00	29.20%
101-36240	COUNCIL	REFUNDS AND REIMBURSEMENT	\$5,000	\$12,610.97	252.22%	LMC & Other Rebates	\$5,000.00	\$12,959.17	259.18%
			\$2,509,275	\$3,192,255			\$2,672,720.36	\$1,887,522.90	

ActCode	DEPT Descr	OBJ Descr	2020 Budget	12/31/20	% of Budget	UnderLine	2021 Budget	9/9/2021	% of Budget
306-36100	COUNCIL	SPECIAL ASSESSMENTS	\$28,500	\$33,664.32	118.12%	LGWA Bond Assessments		\$18,234.84	
306-36210	COUNCIL	INTEREST EARNINGS		\$0.00					
400-33418	COUNCIL	MNDOT STATE AID STREETS	\$0	\$0.00					
400-36210	COUNCIL	INTEREST EARNINGS		\$0.00		Special Project Interest			
400-36240	COUNCIL	REFUNDS AND REIMBURSEMENTS		\$0.00					
400-39200	COUNCIL	TRANSFER IN		\$0.00					
401-36210	COUNCIL	INTEREST EARNINGS		\$51.06					
401-36240	COUNCIL	REFUNDS AND REIMBURSEMENT	\$0.00	\$1,390.00					
401-39200	COUNCIL	TRANSFER IN		\$148,050.00					
402-36210	COUNCIL	INTEREST EARNINGS		\$0.00					
R 403-36210	403-36210	INTEREST EARNINGS	\$0.00	\$0.00					
R 403-37180	403-37180	MAINTENANCE/ESCROW FEE	\$0.00	\$0.00					
R 403-39200	403-39200	TRANSFER IN	\$0.00	\$0.00					
R 404-39200	R 404-39200	TRANSFER IN				Police	NEW FUND	NEW FUND	
406-36100	COUNCIL	SPECIAL ASSESSMENTS		\$466.81				\$1,612.44	
406-36200	COUNCIL	MISCELLANEOUS REVENUES	\$1,500			LGWA Maint Assessments			
406-36210	COUNCIL	INTEREST EARNINGS		\$0.00					
601-36200	COUNCIL	MISCELLANEOUS REVENUES		\$4,460.84				\$1,250.47	
601-37100	WATER	WATER USAGE		\$141,034.26				\$24,765.95	
601-37150	WATER	WATER HOOK-UP - WBT		\$44,498.00				\$17,140.00	
601-37151	WATER	WATER HOOK-UP - CLP		\$0.00					
601-37155	WATER	WATER METER		\$650.00					
601-37180	WATER	MAINTENANCE/ESCROW FEE		\$19,885.09				\$6,345.41	
601-37500	WATER	CAPITAL CONTRIBUTION		\$0.00					
601-39200	WATER	TRANSFER IN		\$0.00					
602-36200	WATER	MISCELLANEOUS REVENUES		\$0.00					
602-37170	WATER	WBT WATER SYSTEM MAINTENANCE		\$38,493.04					
602-37180	WATER	MAINTENANCE/ESCROW FEE		\$12,654.32				\$5,954.22	
602-37200	SEWER	SEWER USAGE		\$85,746.12				\$37,976.48	
602-37250	SEWER	SEWER HOOK-UP		\$29,820.00				\$7,455.00	
602-37500	SEWER	CAPITAL CONTRIBUTION		\$0.00					
			\$2,539,275	\$3,753,118			\$2,672,720	\$2,008,258	



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PLANNING REPORT

TO: North Oaks Planning Commission
FROM: Bob Kirmis, City Planner
DATE: September 2, 2021
RE: North Oaks - Gate Hill Final Plan/Plat
FILE NO: 321.02 - 21.03

BACKGROUND

At the regular meeting of the North Oaks City Council on November 12, 2020, the Council considered and approved (subject to conditions) the Preliminary Plan/Plat (subdivision) application of the North Oaks Company for the “Gate Hill Parcel” located north of County Road H2 and west of Centerville Road.

The approved Preliminary Plan (subdivision) calls for the creation of 73 dwelling units upon the site. Such units are comprised of 33 detached townhomes (single family home lots) and 40 twin homes (within 20 buildings).

The subject 32-acre property is identified as “Site G” in the East Oaks Planned Development Agreement (PDA). The East Oaks PDA makes an allowance for a variety of residential and commercial uses upon Site G, including detached single-family dwellings (townhomes) and twin homes such as that proposed.

At this time, the North Oaks Company has requested Final Plan/Plat approval of the subdivision. Like the approved Preliminary Plan/Plat, the Final Plan/Plat includes 73 dwelling units comprised of 33 detached townhomes and 40 twin homes.

According to the PDA and the City’s zoning map, the City’s RCM - PUD, Residential Commercial Mixed zoning district provisions apply to the subject property. Like the PDA, the RCM - PUD District makes an allowance for single family detached and townhome uses such as those proposed.

All lots are proposed to be served by municipal sewer and water.

Attached for reference:

- Exhibit A: Site Location
- Exhibit B: Applicant Narrative
- Exhibit C: Approved Preliminary Plan/Plat
- Exhibit D: Title Sheet
- Exhibit E: Existing Conditions
- Exhibit F: Final Plan/Plat
- Exhibit G: Final Plat Easement Plan
- Exhibit H: Final Grading Plan
- Exhibit I: Final Erosion Control Plan
- Exhibit J: Final Sanitary Sewer and Watermain Plan
- Exhibit K: Final Storm Sewer Plan
- Exhibit L: Final Street Plan
- Exhibit M: Final Landscape Plan
- Exhibit N: Twin Home Design Samples
- Exhibit O: Registered Land Survey (RLS)

ISSUES AND ANALYSIS

Consistency with Approved Preliminary Plan. The submitted Final Plan/Plat incorporates a number of minor design modifications which were required as conditions of Preliminary Plan/Plat approval. With the incorporation of such required changes, the Final Plan/Plat design is considered consistent with the approved Preliminary Plan/Plat application.

In response to conditions of Preliminary Plan/Plat approval, the following minor design subdivision modifications have been made:

- As part of the Preliminary Plan/Plat review, it was discovered that several of the submitted plans illustrated 21, rather than 20, twin home buildings. Appropriately, all plans provided in the Final Plan/Plat application illustrate 20 twin home buildings.
- A previously proposed on-street trail has been eliminated (as recommended by NOHOA and Staff).
- The rear lot lines of twin home lots depicted on the Preliminary Plan/Plat were irregular and resulted in a series of “jagged” lot lines which were visible to open space areas. Appropriately, uniform rear lot lines have been illustrated on the Final Plan/Plat.

- Narrow, oddly shaped (triangular) open space remnants between twin home lots which were illustrated on the Preliminary Plan/Plat have been eliminated and incorporated into the abutting twin home lots.
- Side lot lines of twin home lots have been extended to roadway easement lines, such that front lot lines now follow-roadway easement lines.

Site Access. Consistent with the approved Preliminary Plan/Plat, the subject site is proposed to be accessed from the east via a single point along Centerville Road which aligns with County Road H2.

As part of Preliminary Plan/Plat consideration, the applicant indicated that Ramsey County may require the construction of turn lanes or other improvements which are determined necessary to accommodate traffic generated by the subdivision. According to the applicant, the County has requested the establishment of an easement along Centerville Road to allow for the future construction of a southbound turn lane. It is understood that such turn lane will be constructed at some future point when the County determines that traffic volumes warrant its need. As a condition of Final Plan/Plat approval, it is recommended that final plans be modified to illustrate a turn lane easement along Centerville Road as recommended by Ramsey County. This issue should be subject to further comment by Ramsey County and/or the City Engineer.

Consistent with the Preliminary Plan/Plat, an emergency vehicle access is proposed from the north directly east of proposed Lot 22 which is consistent with the approved Preliminary Plan/Plat. As a condition of Preliminary Plan/Plat approval, it was recommended that the configuration and width of the emergency access easement be subject to review and approval by the Lake Johanna Fire Department. To date, Staff has not received documentation regarding the Fire Department's approval of the emergency access easement. As a result, it is recommended that the Preliminary Plan/Plat condition be made a condition of Final Plan/Plat approval.

Number of Dwelling Units. According to the East Oaks PDA, a total of 68 dwelling units are allowed upon Site G with a potential 30 percent density bonus. As a result, a maximum of 88 dwelling units are allowed. The submitted Final Plan/Plat illustrates a total of 73 units which is consistent with the PDA requirements.

Lot Area / Density. Detached dwelling unit lots within the subdivision range in size from 12,093 square feet to 19,329 square feet. The twin home unit lots range in from 5,479 square feet to 10,567 square feet in size.

The RCM - PUD zoning district does not impose a minimum lot area requirement. Section 151.056.E of the Zoning Ordinance does however, stipulate that within RCM - PUD Districts, a minimum of 0.25 gross acres (10,890 square feet) of land is required per dwelling unit. The referenced lot area/density requirement of the RCM - PUD District has been satisfied (31.7 acres / 73 units = 18,916 square feet per dwelling unit).

Open Spaces. While the amount of land area devoted to open space within the proposed subdivision is consistent with that depicted on the approved Preliminary Plan/Plat, the number of individual open spaces illustrated on the plans has been increased from three to eight.

According to the applicant, the increased number of open spaces (depicted on the Final Easement Plan) is to allow for the potential creation of two homeowner sub-associations. In addition to the North Oaks Home Owners Association (NOHOA), open space responsibilities could be assigned to the future “villa sub-association” or the future “twin home sub-association.” The applicant has further indicated that the North Oaks Company and NOHOA are presently in discussions to determine maintenance responsibility details.

As a condition of Preliminary Plan/Plat approval, it was stipulated that the applicant should work with the North Oaks Home Owners Association (NOHOA) in determining specific activities which will take place within designated “open space” areas and related maintenance responsibilities. Staff continues to encourage the applicant to work with NOHOA in determining possible recreational improvements upon the site.

Building Types. Like the approved Preliminary Plan/Plat, proposed twin homes and detached townhomes are to be subdivided in a base lot / unit lot arrangement whereby the base lots are to be under common ownership.

The applicant has indicated that the actual location, height, and size of each detached townhome will be determined by the homeowner and approved by the City Building Official and the Architectural Supervisory Committee of the North Oaks Home Owners Association (NOHOA).

As part of Preliminary Plan/Plan review, the applicant also indicated that potential building footprints of 1,400 square feet are expected for the proposed twin homes and 1,800 square feet for the detached townhomes.

As part of the City’s consideration of the Preliminary Plan/Plat, two twin home design examples were provided by the applicant. As part of Final Plan/Plat approval, two twin home design examples have likewise been provided (attached as Exhibit N). One example, which includes a garage door in the front elevation, is identical to that provided with the Preliminary Plan/Plat application. The second building elevation differs from the previously provided design example in that side-loaded garage is proposed (such that garage doors will not be visible from the street).

As a condition of Preliminary Plan/Plat approval, it was stipulated that final plans of the twin home buildings must be provided which specify exterior finish materials and building dimensions. While updated design examples have been provided, the applicant should, as a condition of Final Plan/Plat approval, provide information related to intended exterior

finish materials and building dimensions. In regard to building dimensions, it is recommended that typical site plans be provided for each of the two twin home design options on a typical twin home lot. Such site plans should be dimensioned and demonstrate compliance with applicable structure setback requirements.

Trails. As previously indicated, an on-street trail, proposed as part of Preliminary Plan/Plan processing, has been eliminated (as recommended by NOHOA and Staff).

The Final Plan/Plat includes a link to the existing primary trail located west of the site. Such primary trail extends north to Waverly Gardens and south to The Pines. The trail link is proposed between Lots 14 and 15 which then connects to a trail segment which follows the rear lot lines Lots 11 through 16.

It is understood that the trail locations illustrated on the Final Plan/Plat reflect input received from NOHOA input and have been mutually agreed upon by the Developer and NOHOA.

As a condition of Final Plan/Plat approval, trail easements must be conveyed to NOHOA following subdivision approval and prior to the conveyance of the various affected lots to third parties.

Setbacks. The East Oaks PDA imposes the following minimum setbacks requirements upon residential detached and attached structures located in RCM-PUD Districts (which includes the subject site):

Principal Building to Roadway Easements:

Front:	15 feet
Side:	20 feet
Rear:	20 feet

Principal Building to Principal Building:

Front to front:	40 feet
Side to side:	15 feet
Rear to rear:	50 feet

Also, to be noted is that principal and accessory buildings must be set back a minimum of 30 feet from all wetlands.

As indicated as part of previous Preliminary Plan/Plat review, the East Oaks PDA does not address a condition where a rear yard of a principal building abuts the side yard of a principal building. As shown on the submitted Title Sheet (Exhibit D), the rear yard of the twin home building to be located upon Lots 31 and 32 abut the side yard of the twin home

building to be located upon Lot 30. As a condition of Preliminary Plan/Plat approval, it was recommended that twin home building upon Lot 30 exhibit an east side yard setback of not less than 7.5 feet (from the property line) and twin home building upon Lots 31 and 32 provide a rear yard setback of not less than 25 feet (from the property line). These setback requirements have been satisfied.

All proposed lots illustrate an ability to meet the minimum setback requirements listed above and as cross referenced on the Final Plan/Plat (Exhibit F).

Driveways. According to Section A.3.d of Appendix A of the PDA, driveways may not be closer than 10 feet apart, unless they are shared. The twin home buildings illustrate shared driveways and thus comply with the minimum 10-foot driveway separation requirement.

According to the with PDA, driveway widths must not exceed 18 feet in width at the curb line. While individual driveway widths appear to meet this requirement (as measured at the curb line, it is recommended that the maximum width requirement be made a condition of final Plan/Plat approval.

Off-Street Parking. Within RCM - PUD Districts, a parking supply requirement of two spaces per dwelling unit is imposed. Of the two spaces per unit, one must be enclosed.

Appendix A of the PDA also states that, in addition to the preceding requirement, one space per dwelling provided in shared off-lot locations must be provided unless each dwelling unit has three spaces. Recognizing the driveway spaces are to be counted in determining the off-street parking supply, all parking supply requirements have been satisfied.

A total of 12 guest parking spaces are proposed within subdivision. Seven guest stalls are proposed in the northern area of the subdivision, between Lots 21 and 26, and five stalls are proposed in the southern area of the subdivision, between Lots 33 and 40. To be noted is that the Final Plat/Plan Title Sheet (Exhibit D) incorrectly indicates that a total of 20 guest parking spaces are proposed. This should be corrected as a condition of Final Plan/Plat approval.

Appropriately, the Final Plat/Plan indicates that each stall within the guest parking areas will measure 10 feet in width and 20 feet in depth - in accordance with Section 151.028(E)4 of the Zoning Ordinance.

Park Dedication. Like the approved Preliminary Plat/Plan, the Final Plat/Plan does not include any parkland dedication. Park dedication requirements for the development sites located within the East Oaks Development area were previously satisfied by the developer via the following:

1. Open space easements
2. Conservation easements to the Minnesota Land Trust
3. Rough grading of park and trail areas and the construction of trails as depicted on the trail plan
4. Primary trail easements to NOHOA
5. Conveyance of open space as depicted on the Park and Open Space Plan to NOHOA per the terms of the PDA

Tree Preservation. As a condition of Preliminary Plat/Plan approval, a number of conditions related to tree preservation were imposed. It is recommended that such conditions, reiterated below, likewise be made conditions of Final Plat/Plan approval.

Where practical, the applicant shall comply with the following recommendations of the City Forester in an effort to preserve/save trees upon the subject site:

- A. *Fell all trees to be removed towards the centerline of the street to limit injury to saved trees.*
- B. *Install tree protection fence immediately after tree removals. Make sure fence is restored by contractors on site and immediately raise fence if it is compromised. Pre-construction meetings are an excellent time to implement the seriousness of tree preservation efforts and penalties for violations.*
- C. *If grade changes are excessive retaining walls may be a viable option.*
- D. *Do not place fill around save trees.*
- E. *If save trees are going to be preserved within the construction limits armor trees with 2X4's to reduce the chance of mechanical injury to the trunk.*
- F. *After harvesting, blow chipped tops of trees along tree protection fencing to help reduce soil compaction from construction equipment and moderate soil temperatures and moisture levels.*
- G. *Before preserving save trees on edges make sure they are healthy (good structure, no decay, etc.) and will not become a hazard tree within a few years. An arborist or City Forester assessment may be justified for individual trees.*
- H. *Root cutting and growth hormone regulator treatments for high-value trees are also options that could be implemented.*
- I. *Brushing of understory material outside of construction limits may be an*

option since it is 99 percent buckthorn. An inventory to look for any nonbuckthorn species could be incorporated to mark and avoid those shrubs during buckthorn removal. Care should be taken to minimize impacts to soil during this process. Scraping off of any topsoil should be prohibited as 90 percent of the tree's roots are within the top one foot of soil.

J. Follow oak wilt protocol as recommended by the City Forester.

Landscaping. As part of the City's consideration of the Gate Hill concept plan, the Planning Commission suggested that steps be taken to screen the proposed subdivision from Centerville Road. In response to this concern, the submitted Final Landscape Plan (Exhibit M) indicates that the existing tree stand located along Centerville Road is to be maintained and that new tree plantings are to be provided near the subdivision's access point along Centerville Road.

Additional landscaping is proposed within the entrance median, at the base two entrance monument signs and within Open Space #1.

Also, to be noted is that the Landscape Plan identifies an "amenity space" within Open Space #1. The applicant has indicated a decision regarding the specific amenities which will be provided within the area will be based, in part, upon future condominium owner feedback.

Signage. Included with the Final Plan/Plat application materials is an entrance monument sign plan (illustrated on Exhibit M as part of the Final Landscape Plan). According to the PDA, monuments to identify development sites are permitted if they conform to the following standards:

- 1. Not exceed 8 feet in height as measured from the finished grade.*
- 2. Not extend into adjacent road easement.*
- 3. Not obstruct the view of oncoming traffic.*
- 4. Include landscaping around the base consisting of shrubs, flowers, and ornamental trees, notwithstanding the provisions of Section 151.034 of the Ordinance.*
- 5. No exposed neon lighting on sign.*
- 6. Designed to be compatible with adjacent building architecture.*
- 7. The sign face shall not exceed 80 square feet for each side of the sign.*

The PDA also indicates that, notwithstanding the foregoing standards, deviations from the standards regarding the final location of a monument may be approved by the City.

While the proposed monument sign meets the majority of the preceding PDA requirements, additional detail related to sign area, lighting, and location (proximity to the roadway easement) is necessary to make a final determination. As a condition of Final

Plan/Plat approval, it is recommended that the proposed monument sign meet the preceding PDA requirements.

Development Agreement. The East Oaks Planned Development requires the execution of a development agreement prior to the recording of the registered land surveys (RLS) for the subject site. The RLS for the proposed subdivision is attached as Exhibit N.

As condition of Final Plan/Plat approval, and requirement of Section 5.2 of the PDA, the Developer must execute a development agreement in a form substantially similar to that found within the PDA, subject to future changes if any required by the City.

The development agreement must be executed prior to the recording of the RLS for the subject site.

Engineering Comments. As a condition of Final Plan/Plat approval, final plans must be revised to address the City Engineer's comments. Upon revision, final plans and any necessary associated documents must be provided to the City.

RECOMMENDATION

The Gate Hill Final Plan/Plat has been found to be consistent with the approved Preliminary Plan/Plat. Based on the preceding review, Staff recommends approval of the Final Plan/Plat subject to the fulfillment of the following conditions:

1. Final plans shall be revised to address the City Engineer's comments. Upon revision, final plans and any necessary associated documents shall be provided to the City.
2. Final plans shall be modified to illustrate a turn lane easement along Centerville Road as recommended by Ramsey County. This issue shall be subject to further comment by Ramsey County and/or the City Engineer.
3. The configuration and width of the emergency access easement located north of Lot 22 shall be subject to review and approval by the Lake Johanna Fire Department. Documentation of such approval shall be provided to the City.
4. The applicant shall provide information related to intended exterior finish materials and dimensions of the proposed twin home buildings. In regard to building dimensions, typical site plans shall be provided for each of the two twin home design options on a typical twin home lot. Such site plans shall be dimensioned and demonstrate compliance with applicable structure setback requirements.
5. Trail easements shall be conveyed to NOHOA following subdivision approval and prior to the conveyance of the various affected lots to third parties.

6. The following minimum principal building setbacks shall be satisfied:

Principal Building to Roadway Easements:

Front: 15 feet
Side: 20 feet
Rear: 20 feet

Principal Building to Principal Building:

Front to front: 40 feet
Side to side: 15 feet
Rear to rear: 50 feet

Principal Building to Wetlands: 30 feet

7. Driveway widths shall not exceed 18 feet in width at the curb line.
8. The notes on Final Plat/Plan Title Sheet shall be modified to indicate that a total of 12, rather than 20, guest parking spaces are to be provided.
9. Where practical, the applicant shall comply with the following recommendations of the City Forester in an effort to preserve/save trees upon the subject site:
 - A. Fell all trees to be removed towards the centerline of the street to limit injury to saved trees.
 - B. Install tree protection fence immediately after tree removals. Make sure fence is respected by contractors on site and immediately raise fence if it is compromised. Pre-construction meetings are an excellent time to implement the seriousness of tree preservation efforts and penalties for violations.
 - C. If grade changes are excessive retaining walls may be a viable option.
 - D. Do not place fill around save trees.
 - E. If save trees are going to be preserved within the construction limits armor trees with 2X4's to reduce the chance of mechanical injury to the trunk.
 - F. After harvesting, blow chipped tops of trees along tree protection fencing to help reduce soil compaction from construction equipment and moderate soil temperatures and moisture levels.
 - G. Before preserving save trees on edges make sure they are healthy (good

structure, no decay, etc.) and will not become a hazard tree within a few years. An arborist or City Forester assessment may be justified for individual trees.

- H. Root cutting and growth hormone regulator treatments for high value trees are also options that could be implemented.
 - I. Brushing of understory material outside of construction limits may be an option since it is 99 percent buckthorn. An inventory to look for any nonbuckthorn species could be incorporated to mark and avoid those shrubs during buckthorn removal. Care should be taken to minimize impacts to soil during this process. Scraping off of any topsoil should be prohibited as 90 percent of the tree's roots are within the top one foot of soil.
 - J. Follow the oak wilt protocol as recommended by the City Forester.
10. The applicant shall work with the City Forester and lot purchasers and explore options to preserve trees located upon all lots within the subdivision.
11. The proposed monument sign shall satisfy the following conditions:
- A. Not exceed 8 feet in height as measured from the finished grade.
 - B. Not extend into adjacent road easement.
 - C. Not obstruct the view of oncoming traffic.
 - D. Include landscaping around the base consisting of shrubs, flowers, and ornamental trees, notwithstanding the provisions of Section 151.034 of the Ordinance.
 - E. No exposed neon lighting on sign.
 - F. Designed to be compatible with adjacent building architecture.
 - G. The sign face shall not exceed 80 square feet for each side of the sign.
12. The developer shall enter into a development agreement with the City (the form of which shall be acceptable to the City) and post all necessary securities required by it and pay all required fees and costs including all City planning, engineering, and legal fees. The development agreement shall specifically require execution of a stormwater facilities maintenance agreement and other necessary conditions and shall be recorded against the subject property.

cc: North Oaks Mayor and City Council
Kevin Kress, City Administrator
Tim Korby, City Engineer
Jim Thomson, City Attorney
Mikeya Griffin, NOHOA Executive Director North Oaks Company
Jack Gleason, Department of Natural Resources
Phil Belfiori, Vadnais Lake Area Water Management Organization
Mark Houge and Gary Eagles, North Oaks Company



MAP 12: East Oaks Planned Unit Development

The East Oaks Planned Unit Development (PUD), approved in 1999, authorized a master plan for development on the City's remaining acreage in compliance with the 1999 Comprehensive Plan as amended. The lands within the PUD will continue to develop per the approved PUD over the next twenty years.

Current and future neighborhoods that are part of the East Oaks PUD include:

- 1) Peterson Place (Wildflower)
- 2) East Preserve
- 3) Nord
- 4) Rapp Farm
- 5) East Wilkinson
- 6) Anderson Woods
- 7) Gate Hill
- 8) Island Field
- 9) Red Forest
- 10) The Pines
- 11) Ski Hill
- 12) South East Pines

 Developed and Undeveloped
 Land or Protected Open Space

McComb: Frank Root Associates

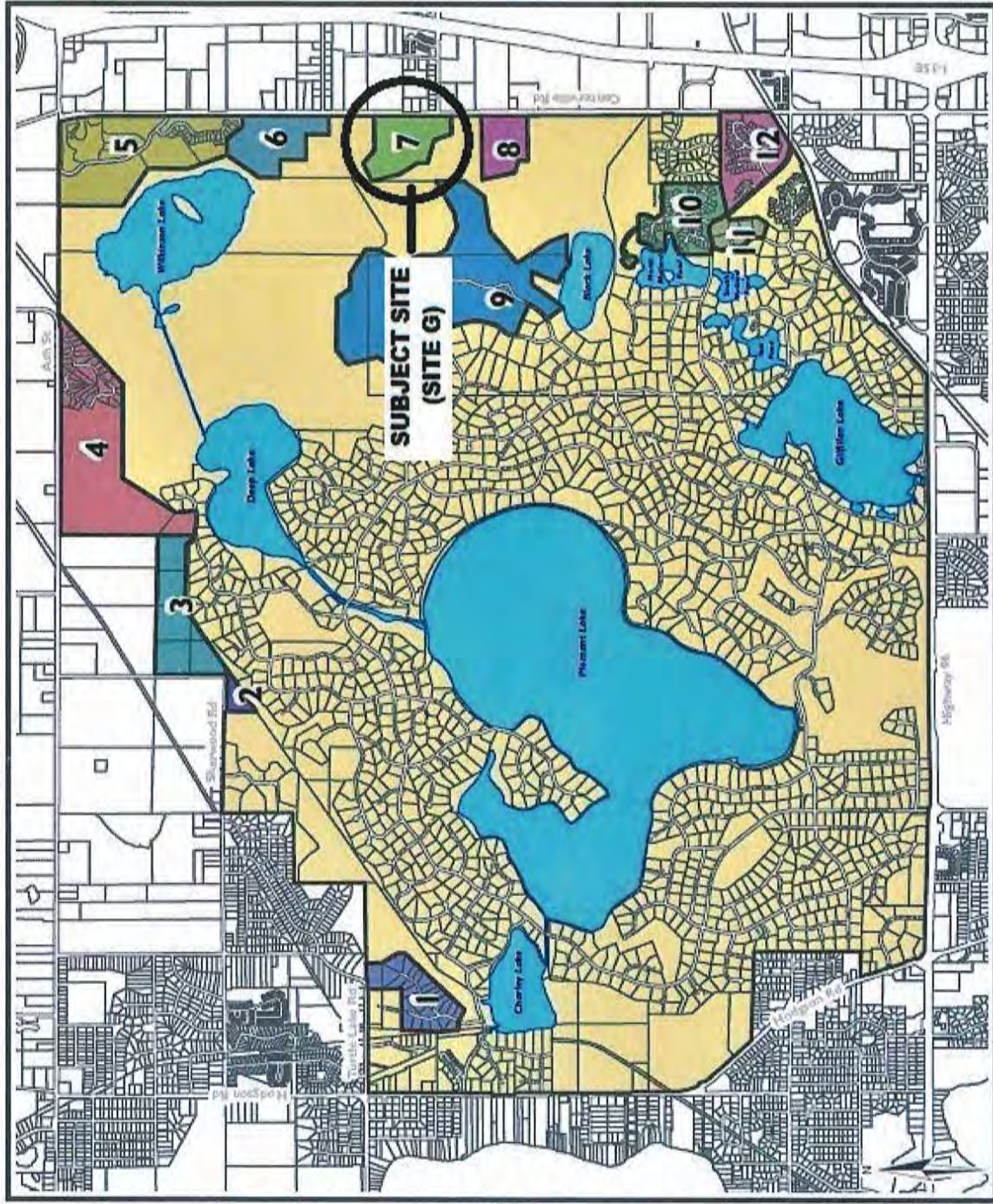


Exhibit A: Site Location



July 2, 2021

Mr. Kevin Kress
City Administrator
City of North Oaks
100 Village Center Drive, Suite 230
North Oaks, Minnesota 55127

Re: Site G – Gate Hill Development
Final Plan Approval

Dear Kevin,

Please consider this application for approval of the final plans by the City Council of the City of North Oaks for North Oaks Company LLC (Developer) to complete construction of utilities and streets to subdivide the Gate Hill– Site G into seventy-three parcels for 33 detached townhomes and 40 twin homes in accordance with Resolution #1403 and Resolution #1404, adopted by the City Council November 12, 2020 granting approval of the Preliminary Plan/Plat and grading activities, respectively.

Digital files of the documents described below were uploaded to Kennedy & Graven's share file site July 2, 2021. In addition, we delivered 10 full-size and 10 half-size sets of drawings, an application form, and check in the amount of \$450.00 to the City's office.

We as Developer will complete site improvements including grading, storm water utilities, sanitary sewer lines extended from existing White Bear Township (WBT) lines adjacent to Centerville Road, water main extended from existing WBT lines adjacent to Centerville Road, connections to NOHOA trails, and construction of a street with two lifts of bituminous, as shown on the drawings referenced below. Site access will be from Centerville Road opposite County Road H2.

Soil borings were uploaded to the Kennedy & Graven share file site. Site G will be subject to NOHOA's bylaws and part of a separate sub-association created to manage all operations and maintenance of the buildings and grounds.

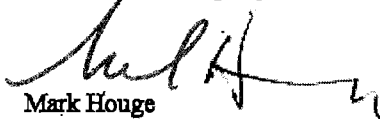
Paragraph 5.2.c of the PDA describes the Development Contract for each Development Site which shall be executed after Preliminary Plan approval and before Registered Land Survey recording. Paragraph 15.5 states Developer shall fully and faithfully comply with all terms of any and all contracts entered into by the Development for the installation of construction of the Development Site Improvements; and shall provide financial security, either cash escrow, performance bond or other form financial guarantee, as mutually agreed between City and Developer to assure the satisfactory of the project. Developer is paying all Development Site Improvement costs to build private roads on private property and will deposit a letter of credit contemporaneously with the execution of a development contract as a condition of Final Plan approval.

Enclosed for your review are the following drawings:

- Sheet 1 – Title Sheet, dated June 30, 2021, prepared by Sathre Bergquist
- Sheet 1A – Final Plat Existing Conditions, dated June 30, 2021, prepared by Kurth Surveying
- Sheet 2 – Final Plat Plan, dated June 30, 2021, prepared by Kurth Surveying
- Sheet 3 – Final Plat Basement Plan, dated June 30, 2021, prepared by Kurth Surveying
- Sheet 4A – 4D – Final Grading Plan, dated June 30, 2021, prepared by Sathre Bergquist
- Sheet 5A – 5D – Final Sanitary Sewer and Water Plan, dated June 30, 2021, prepared by Sathre Bergquist
- Sheet 6A – 6D – Final Storm Sewer Plan, dated June 30, 2021, prepared by Sathre Bergquist
- Sheet 7A – 7D – Final Street Plan, dated June 30, 2021, prepared by Sathre Bergquist
- Sheet 8 – Final Landscape Plan, dated June 30, 2021, prepared by Loucks Inc.
- Geotechnical Report, dated December 11, 2020, prepared by Braun Intertec Corporation – (Previously Submitted)
- Stormwater Management Plan, dated March 4, 2021, prepared by AE2S (Previously Submitted)
- Lot Tabulation, dated June 25, 2021, prepared by Kurth Surveying
- Sheets 1-3 – Registered Land Survey Easement Overlay, Prepared by Kurth Surveying
- Pages 1-12 – Lot by Lot Basement Descriptions, Prepared by Kurth Surveying

Developer owns the property, as evidenced by the Ramsey County Property Tax records and there is no Mortgage on the property. We look forward to presenting this plan to you and responding to your questions and comments.

Sincerely
North Oaks Company LLC,



Mark Houge
President

Enclosures

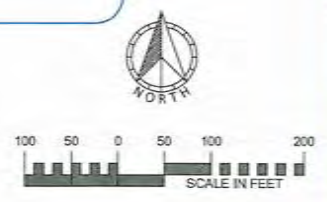
- cc: City Planner
- City Engineer
- City Attorney
- Gary Eagles, North Oaks Company LLC



SHEET INDEX TABLE	
SHEET	Description
1	Existing Conditions
2	Site Plan
3	Easement Plan
4	Grading Plan
5	Utility Plan
6	Landscape Plan

PREPARED BY	PREPARED FOR
ENGINEER SATHRE-BERGQUIST, INC. 150 SOUTH BROADWAY WAYZATA, MINNESOTA 55391 PHONE: (952) 476-6000 FAX: (952) 476-0104 CONTACTS: BOB MOLSTAD, P.E. EMAIL: MOLSTAD@SATHRE.COM	DEVELOPER NORTH OAKS COMPANY LLC 5969 CENTERVILLE ROAD SUITE 200 NORTH OAKS, MN 55127 CONTACT: GARY EAGLES PHONE: (651) 484-3361 EMAIL: GARY@NORTHOAKS.COM

Notes:
 33 Single Family Lots
 40 Twin Home Lots
 Fysb - 20 ft
 Sysb - 7.5/7.5'
 Wetland Edge - 30'
 32' B-B Streets
 Guest Parking
 20 Stalls
 20R x 10 ft



DRAWING NAME	NO.	BY	DATE	REVISIONS
GH-TITLE	01	CAW	09/16/20	CITY COMMENTS
DRAWN BY	02	ERJ	09/30/20	LAYOUT REVISIONS
CHECKED BY		RSM		
DATE				
			08/21/20	

USE (INCLUDING COPYING, DISTRIBUTION, AND/OR CONVEYANCE OF INFORMATION) OF THIS PRODUCT IS STRICTLY PROHIBITED WITHOUT SATHRE-BERGQUIST, INC.'S EXPRESS WRITTEN AUTHORIZATION. USE WITHOUT SAID AUTHORIZATION CONSTITUTES AN ILLEGITIMATE USE AND SHALL THEREBY INDEMNIFY SATHRE-BERGQUIST, INC. OF ALL RESPONSIBILITY. SATHRE-BERGQUIST, INC. RESERVES THE RIGHT TO HOLD ANY ILLEGITIMATE USER OR PARTY LEGALLY RESPONSIBLE FOR DAMAGES OR LOSSES RESULTING FROM ILLEGITIMATE USE.

I HEREBY CERTIFY THAT THIS PLAN OR SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
Robert S. Molstad
 ROBERT S. MOLSTAD, P.E.
 Date: 08/26/20 Lic. No. 26428

ENGINEERS **SUBSISTORS** **PLANNERS**

SATHRE-BERGQUIST, INC.
 150 SOUTH BROADWAY WAYZATA, MN 55391 (952) 476-6000

CITY PROJECT NO. _____

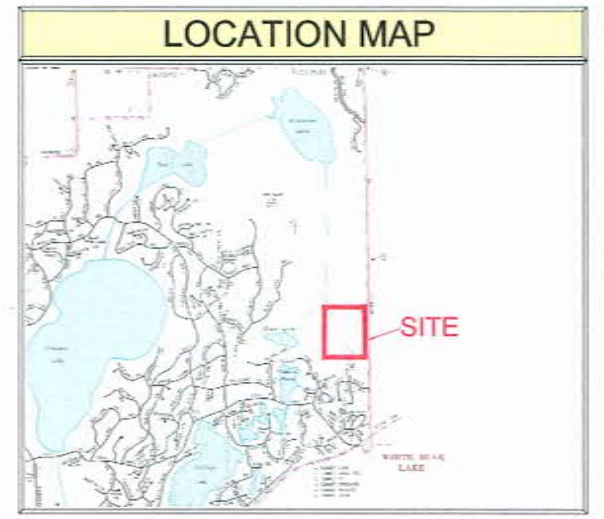
NORTH OAKS, MINNESOTA

FILE NO. _____

Exhibit C: Approved Preliminary Plan/Plat

NORTH OAKS COMPANY

6



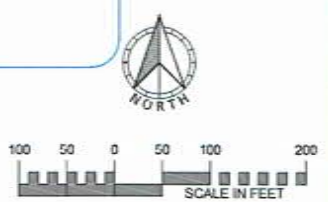
SHEET INDEX TABLE

SHEET	Description
1	Title Sheet
1A	Existing Conditions
2	Final Plat Plan
3	Final Plat Easement Plan
4	Final Grading & Erosion Control Plan
5	Final Sanitary Sewer & Watermain Plan
6	Final Storm Sewer Plan
7	Final Street Plan
8	Final Landscape Plan

PREPARED BY	PREPARED FOR
ENGINEER SATHRE-BERGQUIST, INC. 112 SOUTH BROADWAY WAYZATA, MINNESOTA 55391 PHONE: (952) 476-6000 FAX: (952) 476-0104 CONTACTS: BOB MÖLSTAD, P.E. EMAIL: MOLSTAD@SATHRE.COM	DEVELOPER NORTH OAKS COMPANY LLC 6825 CENTERVILLE ROAD SUITE 200 NORTH OAKS, MN 55227 CONTACT: GARY SAGLES PHONE: (952) 484-3361 EMAIL: GARY@NORTHOAKS.COM

Notes:

- 33 Single Family Lots
- 40 Twin Home Lots
- Fysb - 25 ft to back of curb
- Fysb Garage - 16ft to back of curb
- Sysb - 7.5/7.5'
- Wetland Edge - 30'
- 32' B-B Streets
- Guest Parking
- 20 Stalls
- 20ft x 10 ft



DRAWING NAME	NO.	BY	DATE	REVISIONS
GH-TITLE				
DRAWN BY				
CHECKED BY				
DATE				
01/18/21				

USE (INCLUDING COPYING, DISTRIBUTION, AND/OR CONVEYANCE OF INFORMATION) OF THIS PRODUCT IS STRICTLY PROHIBITED WITHOUT SATHRE-BERGQUIST, INC.'S EXPRESS WRITTEN AUTHORIZATION. USE WITHOUT SAID AUTHORIZATION CONSTITUTES AN ILLEGITIMATE USE AND SHALL THEREBY INDEMNIFY SATHRE-BERGQUIST, INC. OF ALL RESPONSIBILITY. SATHRE-BERGQUIST, INC. RESERVES THE RIGHT TO HOLD ANY ILLEGITIMATE USER OR PARTY LEGALLY RESPONSIBLE FOR DAMAGES OR LOSSES RESULTING FROM ILLEGITIMATE USE.

I HEREBY CERTIFY THAT THIS PLAN OR SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Charles A. Wiemerslage
 CHARLES A. WIEMERSLAGE, P.E.
 Date: 06/20/21 Lic. No. 49180

SATHRE-BERGQUIST, INC.
 150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

CITY PROJECT NO. _____

NORTH OAKS, MINNESOTA

Exhibit D: Title Sheet

NORTH OAKS COMPANY

FILE NO. 64500-018
1
8

DEVELOPMENT AREA "G"

DATE: JUNE 30, 2021
SHEET 1A OF 8 SHEETS

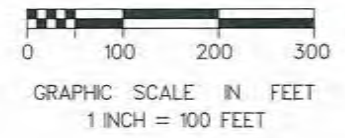
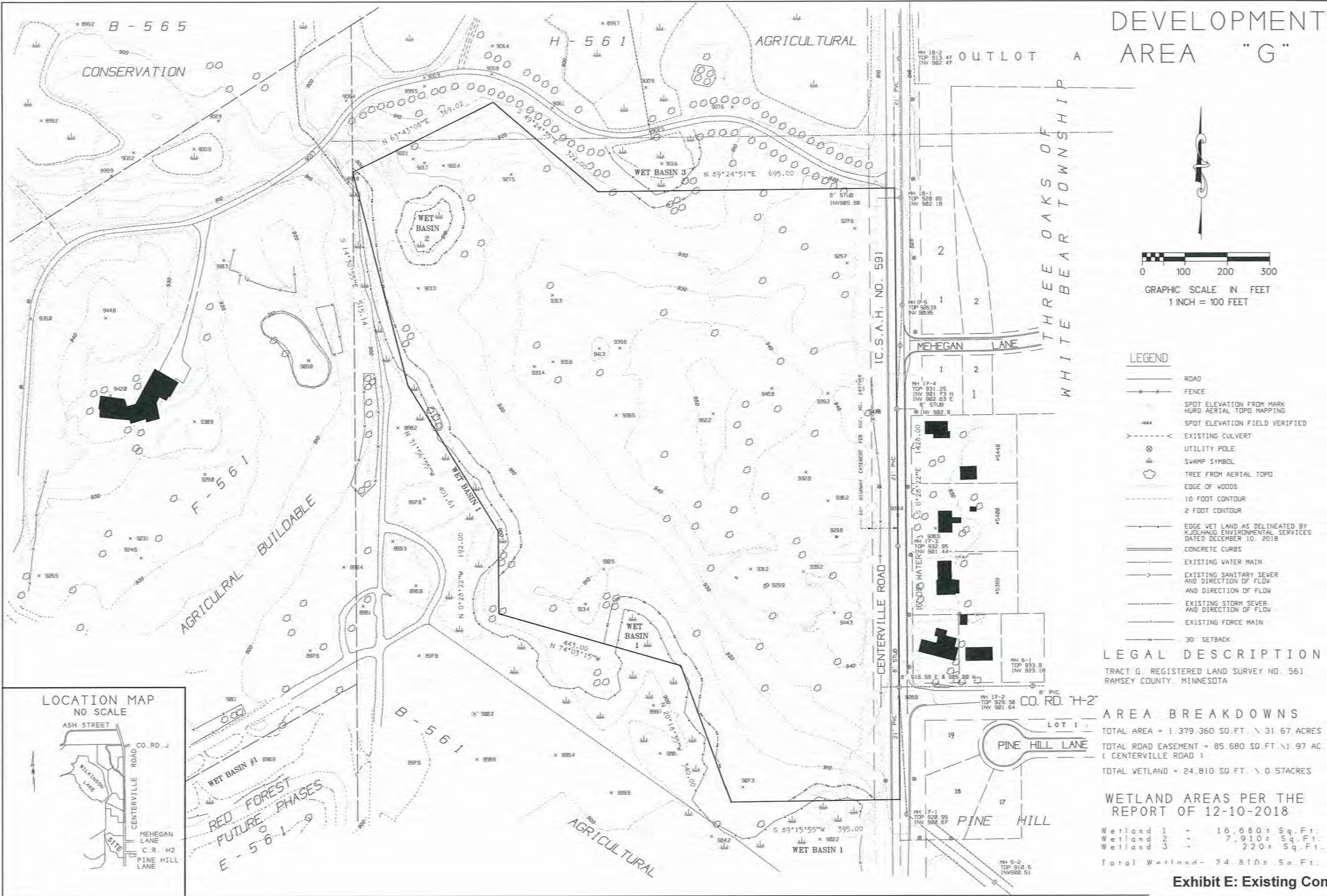
PROJECT: GATE HILL
SHEET DESCRIPTION: FINAL PLAT EXISTING CONDITIONS

PROJECT: GATE HILL
SHEET DESCRIPTION: FINAL PLAT EXISTING CONDITIONS

NORTH OAKS
C O M P A N Y

I hereby certify that this plan was prepared by me or under my direct supervision and I am a duly Licensed Land Surveyor in the State of Minnesota.
Russell J. Kurth, R.L.S., No. 20270
Russell J. Kurth, R.L.S., No. 16113

KURTH SURVEYING, INC.
4002 JEFFERSON ST., N.E.
COLUMBIA HEIGHTS, MN 55421
PHONE: (763) 788-8769
email: kst@kurthsurveyinginc.com



- LEGEND**
- ROAD
 - FENCE
 - SPOT ELEVATION FROM MARK HURD AERIAL TOPO MAPPING
 - SPOT ELEVATION FIELD VERIFIED
 - EXISTING CULVERT
 - UTILITY POLE
 - SWAMP SYMBOL
 - TREE FROM AERIAL TOPO
 - EDGE OF WOODS
 - 10 FOOT CONTOUR
 - 2 FOOT CONTOUR
 - EDGE WET LAND AS DELINEATED BY KJOLHAIN ENVIRONMENTAL SERVICES DATED DECEMBER 10, 2018
 - CONCRETE CURBS
 - EXISTING WATER MAIN
 - EXISTING SANITARY SEWER AND DIRECTION OF FLOW
 - EXISTING STORM SEWER AND DIRECTION OF FLOW
 - EXISTING FORCE MAIN
 - 30' SETBACK

LEGAL DESCRIPTION
TRACT G, REGISTERED LAND SURVEY NO. 561
RAMSEY COUNTY, MINNESOTA

AREA BREAKDOWNS
TOTAL AREA = 1,379,360 SQ. FT. \ 31.67 ACRES
TOTAL ROAD EASEMENT = 85,680 SQ. FT. \ 1.97 AC (CENTERVILLE ROAD)
TOTAL WETLAND = 24,810 SQ. FT. \ 0.57 ACRES

WETLAND AREAS PER THE REPORT OF 12-10-2018

Wetland 1	-	16,680 ±	Sq. Ft.
Wetland 2	-	7,910 ±	Sq. Ft.
Wetland 3	-	220 ±	Sq. Ft.
Total Wetland		24,810 ±	Sq. Ft.

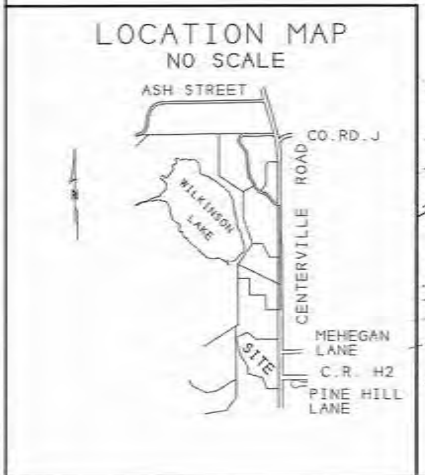


Exhibit E: Existing Conditions

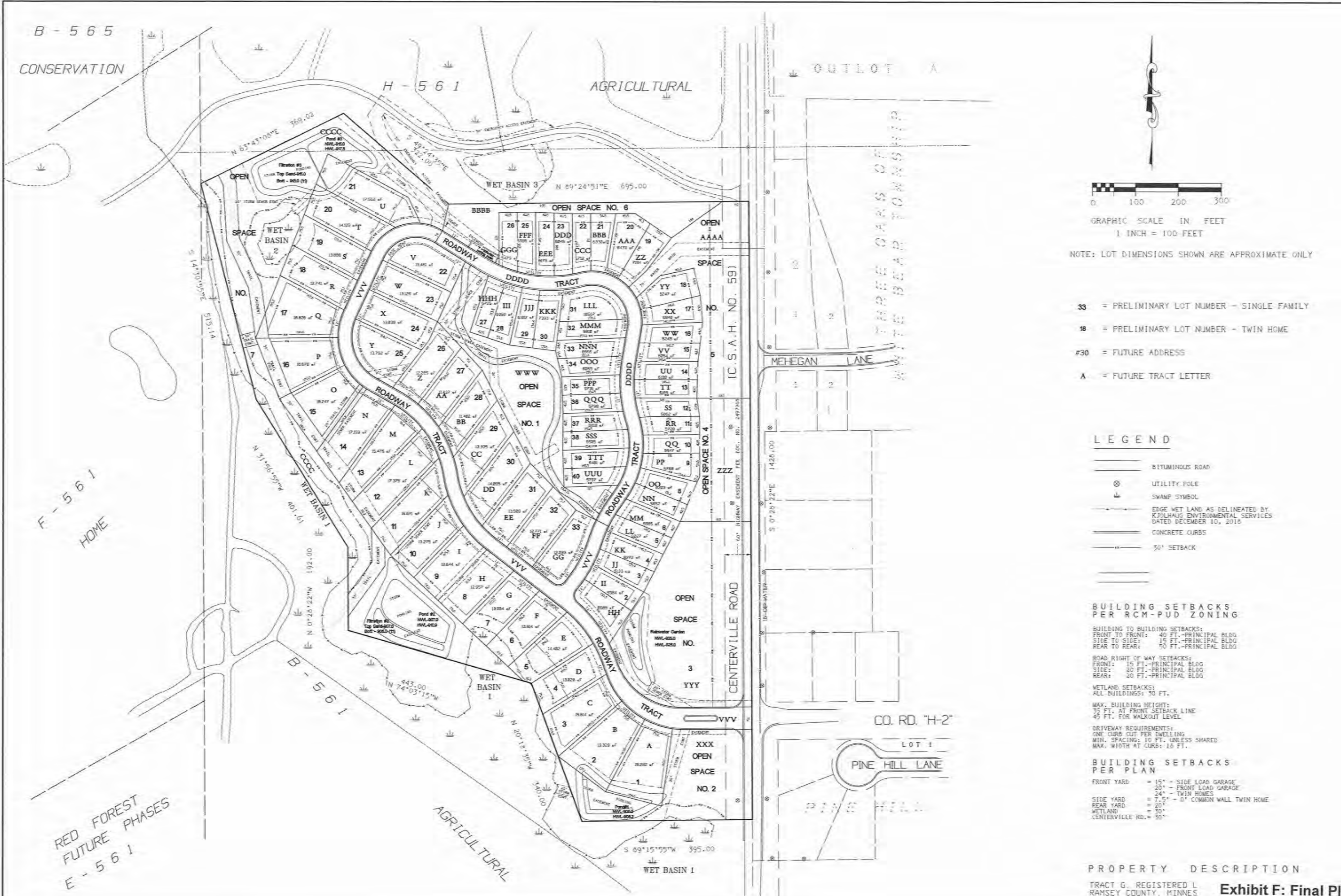
B - 5 6 5

CONSERVATION

H - 5 6 1

AGRICULTURAL

OUTLOT A



GRAPHIC SCALE IN FEET
1 INCH = 100 FEET

NOTE: LOT DIMENSIONS SHOWN ARE APPROXIMATE ONLY

- 33 = PRELIMINARY LOT NUMBER - SINGLE FAMILY
- 18 = PRELIMINARY LOT NUMBER - TWIN HOME
- #30 = FUTURE ADDRESS
- A = FUTURE TRACT LETTER

LEGEND

- BITUMINOUS ROAD
- UTILITY POLE
- SWAMP SYMBOL
- EDGE WET LAND AS DELINEATED BY KJOLHAUG ENVIRONMENTAL SERVICES DATED DECEMBER 10, 2016
- CONCRETE CURBS
- 50' SETBACK

BUILDING SETBACKS PER RCM-PUD ZONING

BUILDING TO BUILDING SETBACKS:
FRONT TO FRONT: 40 FT.-PRINCIPAL BLDG
SIDE TO SIDE: 15 FT.-PRINCIPAL BLDG
REAR TO REAR: 50 FT.-PRINCIPAL BLDG

ROAD RIGHT OF WAY SETBACKS:
FRONT: 15 FT.-PRINCIPAL BLDG
SIDE: 20 FT.-PRINCIPAL BLDG
REAR: 20 FT.-PRINCIPAL BLDG

WETLAND SETBACKS:
ALL BUILDINGS: 30 FT.

MAX. BUILDING HEIGHT:
35 FT. AT FRONT SETBACK LINE
45 FT. FOR WALKOUT LEVEL

DRIVEWAY REQUIREMENTS:
ONE CURB CUT PER DWELLING
MIN. SPACING: 10 FT. UNLESS SHARED
MAX. WIDTH AT CURB: 16 FT.

BUILDING SETBACKS PER PLAN

FRONT YARD = 15' - SIDE LOAD GARAGE
 = 20' - FRONT LOAD GARAGE
SIDE YARD = 24' - TWIN HOMES
REAR YARD = 7' 5" - 0' COMMON WALL TWIN HOME
WETLAND = 30'
CENTERVILLE RD. = 30'

PROPERTY DESCRIPTION

TRACT G, REGISTERED L
RAMSEY COUNTY, MINNES

Exhibit F: Final Plan/Plat

F - 5 6 1
HOME

RED FOREST
FUTURE PHASES
E - 5 6 1

AGRICULTURAL

CO. RD. "H-2"

PINE HILL LANE

PINE HILL

DATE: June 30, 2021
SHEET 2 OF 8 SHEETS 45

SHEET DESCRIPTION
FINAL
PLAT
PLAN

PROJECT
GATE
HILL

NORTH OAKS
C O M P A N Y

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed and duly sworn professional engineer under the laws of the State of Minnesota.
Kurt H. Kurth, R.L.S. No. 20276
Kurt H. Kurth, R.L.S. No. 16113

KURTH SURVEYING, INC.
4002 JEFFERSON ST. N.E.
COLUMBIA HEIGHTS, MN 55421
PHONE: (763) 788-0769
E-MAIL: kst@kurthsurveyinginc.com

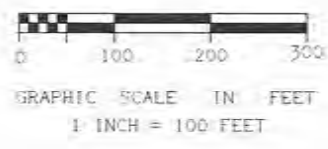
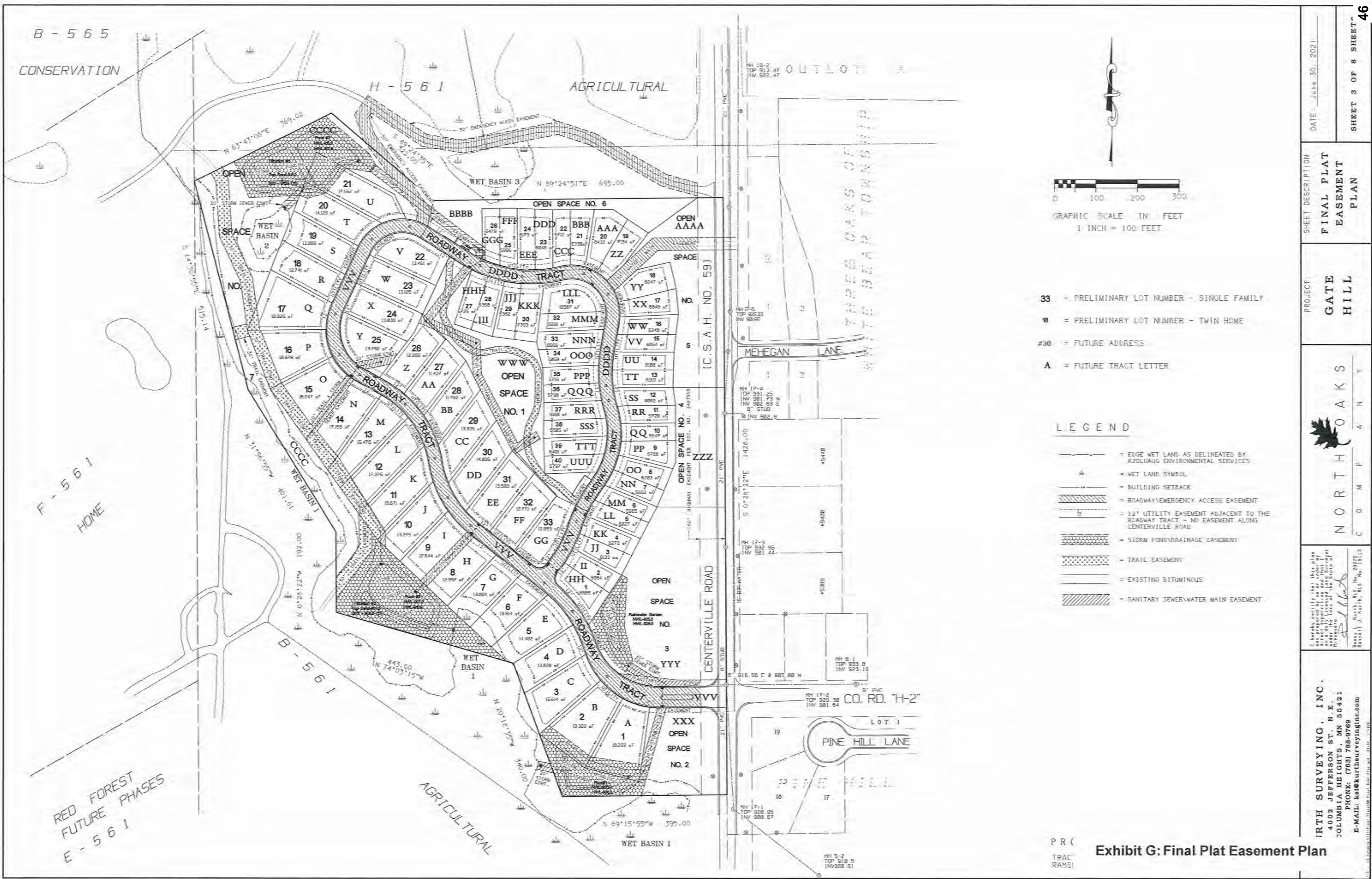
B - 5 6 5

CONSERVATION

H - 5 6 1

AGRICULTURAL

OUTLOT A



- 33 = PRELIMINARY LOT NUMBER - SINGLE FAMILY
- 18 = PRELIMINARY LOT NUMBER - TWIN HOME
- #30 = FUTURE ADDRESS
- A = FUTURE TRACT LETTER

LEGEND

- = EDGE WET LAND AS DELINEATED BY KJOLHAUG ENVIRONMENTAL SERVICES
- = WET LAND SYMBOL
- = BUILDING SETBACK
- = ROADWAY/EMERGENCY ACCESS EASEMENT
- = 12" UTILITY EASEMENT ADJACENT TO THE ROADWAY TRACT - NO EASEMENT ALONG CENTERVILLE ROAD
- = STORM POND/DRAINAGE EASEMENT
- = TRAIL EASEMENT
- = EXISTING BITUMINOUS
- = SANITARY SEWER/WATER MAIN EASEMENT

PRC
TRAC
RAMS
Exhibit G: Final Plat Easement Plan

DATE: June 30, 2021
SHEET 3 OF 8 SHEETS

SHEET DESCRIPTION
FINAL PLAT EASEMENT PLAN

PROJECT:
GATE HILL

NORTH OAKS
C O M P A N Y

I hereby certify that this plan was prepared by me or under my supervision and that I am a duly licensed Professional Surveyor in the State of Minnesota.
Kurt Baur
Kurt Baur, RLS, No. 20270
Ressell J. Kurth, RLS, No. 16113

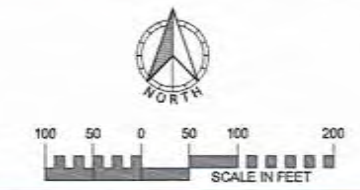
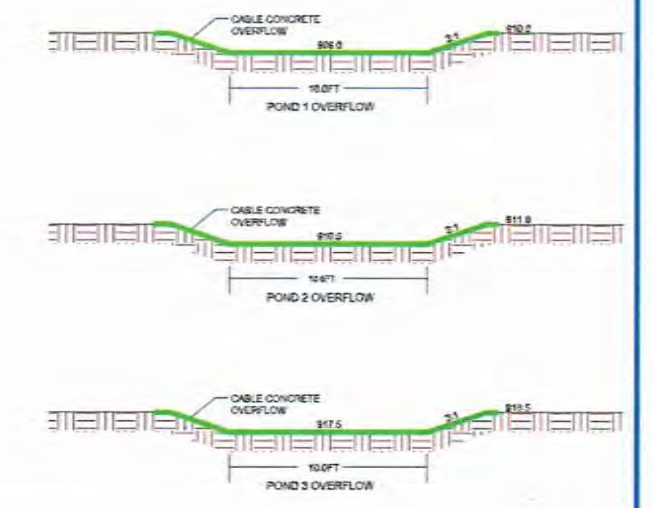
IRTH SURVEYING, INC.
4002 JEFFERSON ST., N.E.
COLUMBIA HEIGHTS, MN 55421
PHONE: (763) 788-9769
E-MAIL: kcb@kurtbaursurveyinginc.com



- CONSTRUCTION NOTES**
1. INSTALL SILT FENCE AS SHOWN ON PLAN, AS REQUIRED BY THE CITY OF NORTH OAKS OR DIRECTED BY THE ENGINEER.
 2. THE WATER QUALITY POND(S) MUST BE EMICATED AT THE BEGINNING OF GRADING OPERATIONS TO PROVIDE TEMPORARY STORM WATER DETENTION DURING CONSTRUCTION. SAND AND SILT MUST BE REMOVED FROM THE POND(S) AS NECESSARY DURING CONSTRUCTION AND AT THE COMPLETION OF THE PROJECT.
 3. BEGIN GRADING. INSTALL MEANS OF TEMPORARY DRAINAGE IN PONDS WHEN POND GRADING IS COMPLETE. TEMPORARY DRAINAGE PIPE SHALL BE USED FOR INTERMEDIATE DRAINAGE DURING THE CONSTRUCTION PERIOD AS NECESSARY AND DIRECTED BY THE ENGINEER. AFTER GRADING IS COMPLETE INSTALL SILT FENCE AROUND EXCAVATED PONDS.
 4. INSPECT POND, SILT FENCE, AND ROCK ENTRANCE BERM AFTER ALL RAINFALL EVENTS AS REQUIRED BY THE MPDES PERMIT.
 5. LINE ALL PONDS WITH A MINIMUM 6" ORGANIC SOILS & SEED SLOPES BETWEEN MWL AND 100 YR HWL WITH A WATER TOLERANT MIX (OR AS NOTED).
 6. REMOVE TEMPORARY DRAINAGE SYSTEMS FROM PONDS WHEN STORM SEWER AND OUTLET STRUCTURE FOR PONDS ARE INSTALLED.
 7. POND(S) - 10' BENCH (1 FOOT), THEN 3:1 MAX.
 8. POND(S) TO BE CLAY LINED (2' MINIMUM CLAY LINER).
 9. NO PADS 3:1 MAX. ALL OTHER SLOPES 4:1 MAX (UNLESS NOTED).
 10. RESTORATION - 20 ACRES
 - A. RESTORE ALL DISTURBED AREAS WITH 4" TO 6" OF TOPSOIL, OR EXISTING ON-SITE ORGANIC MTRL.
 - B. SEED POND SLOPES AND DETENTION AREAS WITH MINDOT 310 OR BWSR P8 SEED MIX AT A RATE OF 100 LBS/ACRE AND FERTILIZE WITH 20-0-10 AT 100 LBS/ACRE. SEED WETLAND BUFFER AREAS WITH MINDOT 310 MISC PRAIRIE (26.5 PLUS LBS/AC) OR BWSR 35-241 SEED MIX AND FERTILIZE WITH 20-0-10 AT 100 LBS/ACRE (REFER TO WETLAND CREATION/BANKING PLAN FOR WETLAND SEED MIX REQUIREMENTS).
 - C. SEED ALL OTHER DISTURBED AREAS WITH MINDOT 220 AT A RATE OF 100 LBS/ACRE AND FERTILIZE WITH 20-0-10 AT 100 LBS/ACRE (UNLESS OTHERWISE NOTED).
 - D. ONLY PHOSPHOROUS FREE FERTILIZER IS TO BE USED ON SITE.
 - E. MULCH WITH TYPE 1 AT A RATE OF 2 TONS/ACRE AND DISC ANCHOR IMMEDIATELY AFTER PLACEMENT. USE WOODFIBER BLANKET ON ALL SLOPES 3:1 (77) OR GREATER.
 - F. PLACE APPROVED STORM SEWER INLET PROTECTION IN OR AROUND ALL STORM SEWER INLETS AND MAINTAIN UNTIL HOME CONSTRUCTION IS COMPLETE. REFER TO DETAILS FOR APPROVED DEVICES.
 - G. MAINTAIN ALL SILT FENCE UNTIL TURF HAS BEEN ESTABLISHED.
 - H. RESTORATION WORK WILL BE COMPLETED WITHIN 72 HOURS OF GRADING COMPLETION.
 11. MAINTAIN TEMPORARY DRAINAGE ALONG EAST SIDE OF PROPERTY LINE.
 12. SILT FENCE - BEFORE GRADING - 10,000 LF
AFTER GRADING - 1,800 LF
TREE FENCING - 300 LF
 13. EROSION BLANKET - 200 SF

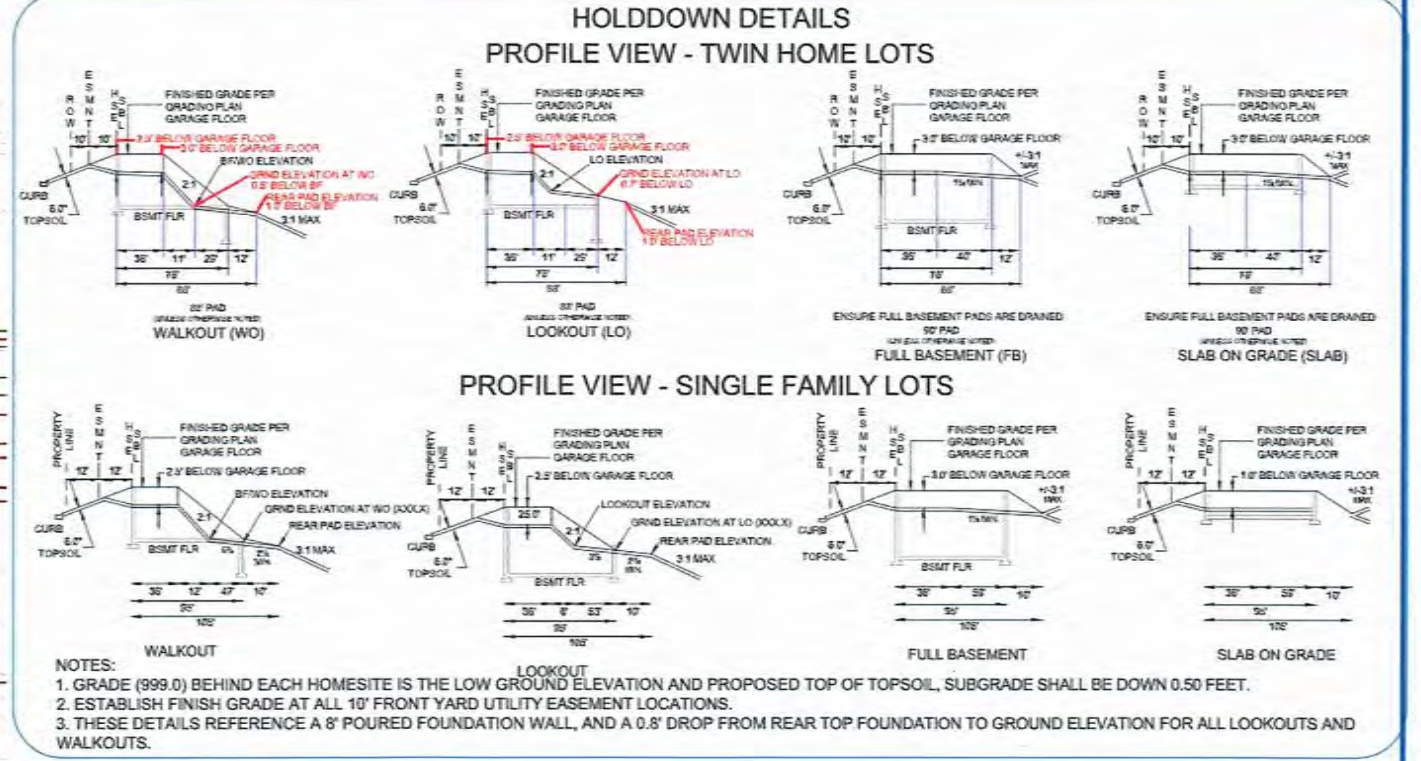
- ON-SITE BMPs**
1. NURP POND - NURP POND WILL BE UTILIZED TO MEET OR EXCEED QUALITY AND RATE CONTROL REQUIREMENTS.
 2. SKIMMERS - THE POND OUTLET STRUCTURE INCLUDES A DRAINTRILE FROM THE SAND BASIN TO ALLOW SKIMMING.
 3. RIP RAP - RIP RAP WILL BE UTILIZED AT ALL APRONS FOR ENERGY DISSIPATION AND PROVIDE SEDIMENT CONTROL.
 4. INLET PROTECTION - INLET PROTECTION WILL BE INSTALLED AND MAINTAINED IN ALL CATCH BASINS & REAR YARD STRUCTURES. REFER TO THE DETAILS ON THE EROSION CONTROL PLAN TO DETERMINE WHICH INLET PROTECTION DEVICE IS APPLICABLE.
 5. SLOPE STABILIZATION - SILT FENCE WILL BE INSTALLED ALONG DOWN GRADIENT GRADING LIMITS AND WOODFIBER BLANKET WILL BE UTILIZED ON ALL SLOPES 3:1 OR GREATER TO PROVIDE ADEQUATE SLOPE STABILIZATION.
 6. BROWLINS - BROWLINS WILL BE INSTALLED ALONG REAR YARD SWALES TO PREVENT SEDIMENT FROM REACHING THE NURP POND AND ULTIMATELY DOWNSTREAM WETLANDS.
 7. INFILTRATION / RETENTION AREAS - INFILTRATION / RETENTION AREAS WILL BE UTILIZED TO REDUCE/RETAIN THE RUNOFF FROM THE INCREASED HARD SURFACE.
 8. STREET SWEEPING - STREET SWEEPING WILL BE DONE A MINIMUM OF ONCE PER WEEK OR MORE FREQUENTLY TO CONTROL DUST AND VEHICLE TRACKING.
 9. PHOSPHOROUS FREE FERTILIZER - PHOSPHOROUS FREE FERTILIZER WILL ALSO BE USED ON SITE.

- GENERAL NOTES:**
1. THE DEVELOPER IS RESPONSIBLE FOR ALL STORM INSPECTIONS ACCORDING TO THE MPCA STORM WATER PERMIT. THIS INCLUDES BOTH WEEKLY INSPECTIONS AND INSPECTIONS DONE AFTER A 0.5" RAIN EVENT A COPY OF THE INSPECTION REPORT MUST BE EMAILED TO THE ENGINEER, CITY ENGINEER, AND DEVELOPER ON A WEEKLY BASIS.
 2. THE CONTRACTOR SHALL PLACE INLET PROTECTION DEVICES AS DIRECTED BY THE ENGINEER FOR ALL STORM SEWER INLETS AND MAINTAIN THEM AS AN EFFECTIVE SILT CONTROL DEVICE. INLET PROTECTION SHALL BE REMOVED WHEN ALL HOME CONSTRUCTION RESTORATION HAS BEEN COMPLETED.
 3. A 1" CRUSHED ROCK ENTRANCE BERM SHALL BE PLACED AT THE SITE ENTRANCE, TO REPLACE SILT FENCE, AND MINIMIZE EROSION ON TO THE STREETS. THE ROCK BERM SHALL BE THE WIDTH OF THE ENTRANCE AND 2 FEET HIGH WITH 4:1 SLOPES (SEE DETAIL).
 4. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM THE BUILDING PAD AND STREET AREAS THROUGHOUT CONSTRUCTION.
 5. THE CONTRACTOR SHALL ATTEMPT TO PREVENT SOIL MATERIALS FROM LEAVING THE SITE BY EROSION AND VEHICLE WHEEL TRACKING. HE SHALL BE RESPONSIBLE FOR CLEANING OF STREET, BOULEVARD AND UTILITY FACILITIES THAT RECEIVE ANY ERODED OR TRACKED SOIL MATERIAL OR OTHER CONSTRUCTION DEBRIS OR MATERIAL.
 6. EXISTING UTILITIES SHOWN ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY AND ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES ARISING OUT OF HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES.
 7. BUILDING PADS ARE 40' DEEP. UNLESS OTHERWISE NOTED. THE FRONT AND REAR BUILDING PAD LINES ARE SHOWN ON THE PLAN. THE ENGINEER SHOULD BE CONTACTED IF THE CONTRACTOR HAS ANY QUESTIONS REGARDING BUILDING PADS.
 8. A TEST ROLL SHALL BE COMPLETED PER SECTION C2.9 OF THE SOILS REPORT. SOIL CORRECTION SHALL BE COMPLETED BY THE CONTRACTOR IF REQUIRED BY THE SOILS ENGINEER.
 9. ALL SMALL UTILITIES INCLUDING, BUT NOT LIMITED TO GAS, TELEPHONE, ELECTRIC SHALL BE PLACED UNDERGROUND IN ACCORDANCE WITH THE PROVISIONS OF ALL APPLICABLE CITY ORDINANCES.
 10. ALL UTILITIES TO BE LOCATED IN THE FLOOD PLAN SHALL BE FLOOD PROOFED IN ACCORDANCE WITH THE BUILDING CODE OR ELEVATED ABOVE THE FLOOD PROTECTION ELEVATION (IF APPLICABLE).
 11. SAND FILTER AND DRAIN TILE FOR THE FILTER BASIN SHALL BE INSTALLED AFTER FINAL STABILIZATION.



SYMBOL LEGEND

DESCRIPTION	PROPOSED	EXISTING
MINOR CONTOUR		
MAJOR CONTOUR		
LOT LINE		
BUILDING SETBACK LINE		
GARAGE SETBACK LINE		
PARCEL BOUNDARY LINE		
DRAINAGE AND UTILITY EASEMENTS		
CURB AND GUTTER		
RIGHT-OF-WAY		
BACKYARD CATCH BASIN		
CATCH BASIN		
STORM SEWER MANHOLE		
FLARED END SECTION W/ RIP RAP		
SANITARY SEWER MANHOLE		
INVERT		
GATE VALVE		
DRAIN FLOW/DIRECTION ARROW		
EMERGENCY OVERFLOW SWALE		
SILT FENCE (PRE CONSTRUCTION)		
SPOT ELEVATION		
TRIPNOT ELEVATION		



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NO.	BY	DATE	REVISIONS
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Charles A. Wiemerslage
 Charles A. Wiemerslage, P.E.
 Date: 06/20/21 Lic. No. 49120

SATHRE-BERGQUIST, INC.
 150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

CITY PROJECT NO.
 NORTH OAKS, MINNESOTA

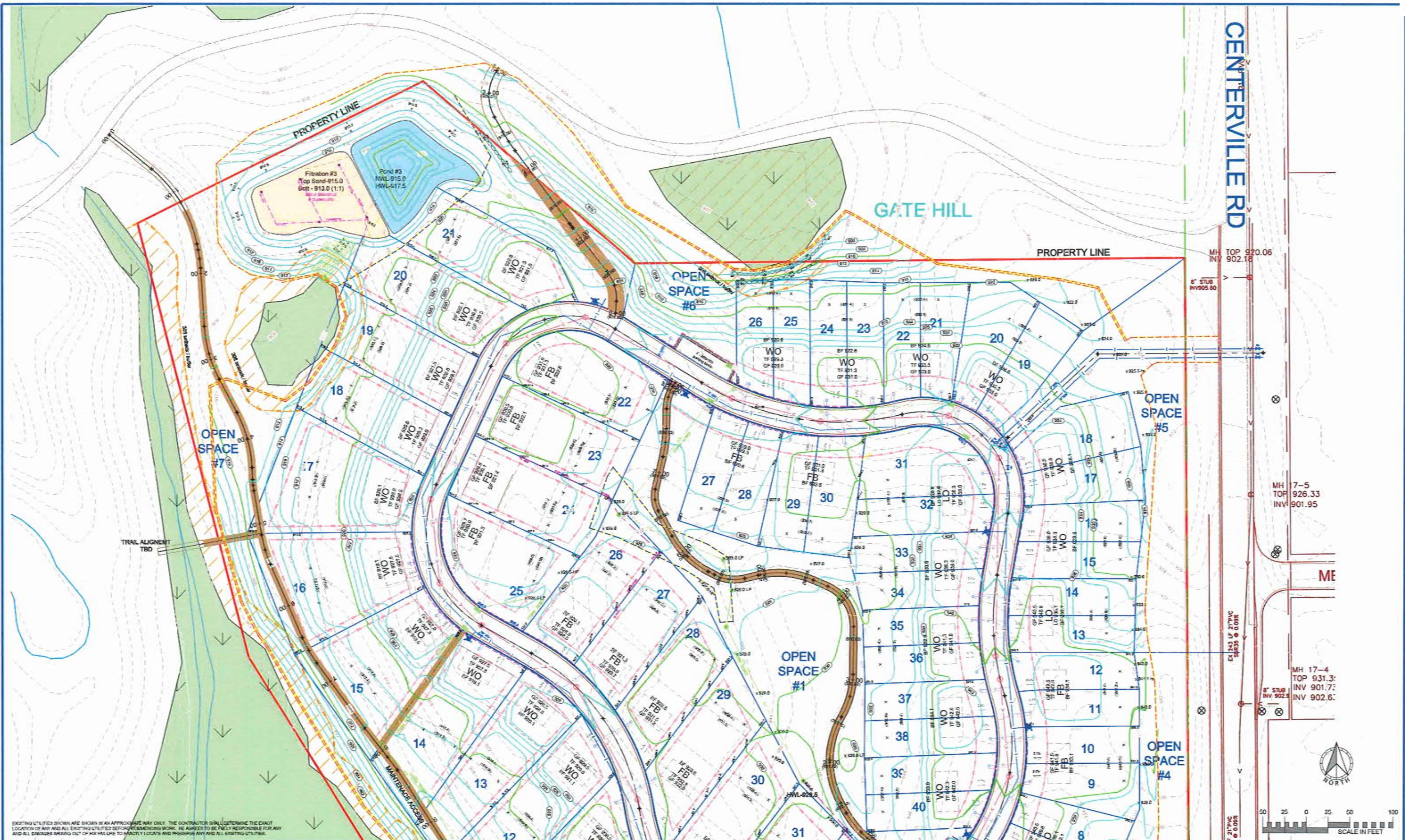
FILE NO.
 64500-018

Exhibit H: Final Grading Plan

4A

NORTH OAKS

8



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Charles A. Wiemerslage
 Charles A. Wiemerslage, P.E.
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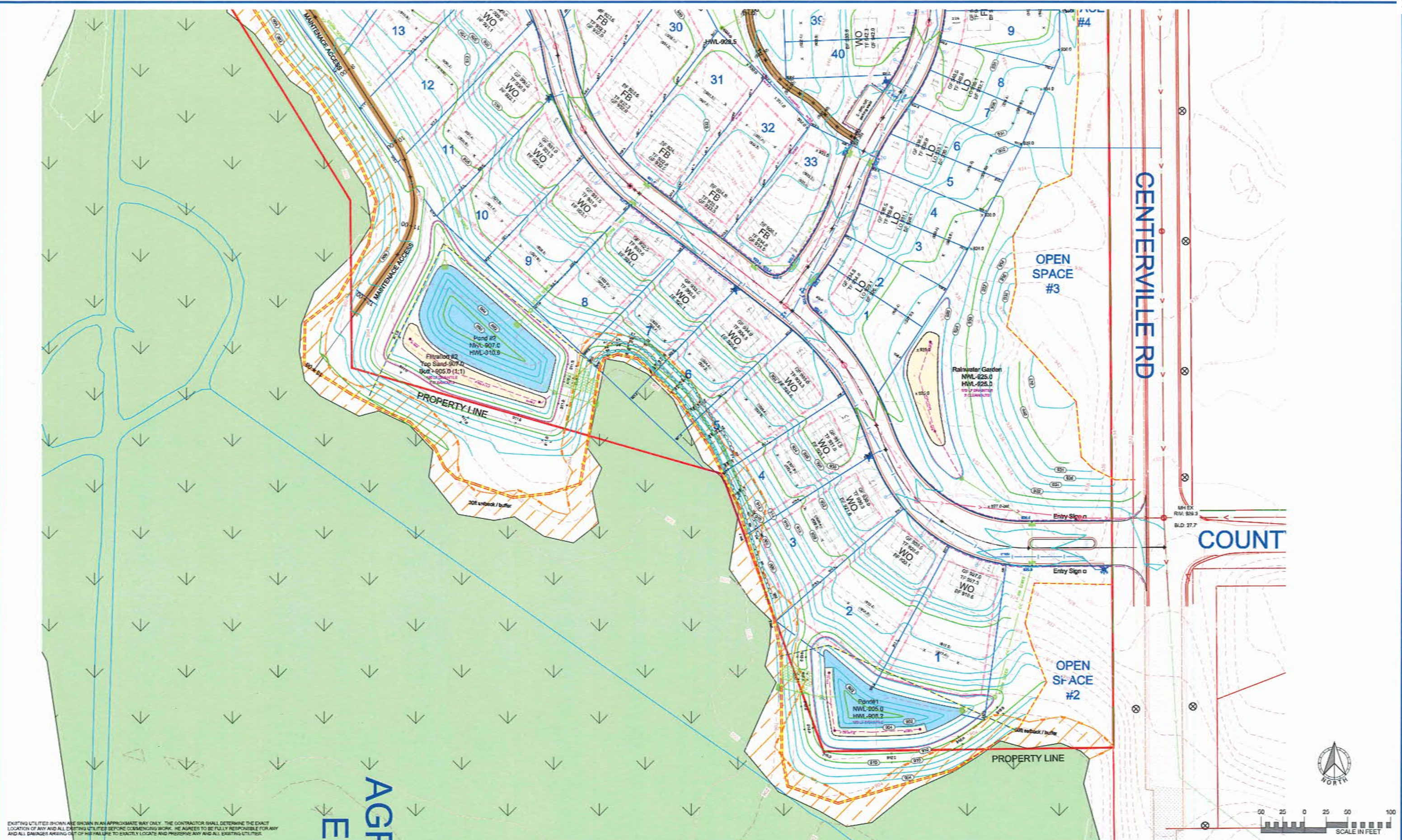
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ENGINEERS SURVEYORS
 PLANNERS

CITY PROJECT NO.
NORTH OAKS, MINNESOTA

FINAL GRADING PLAN
GATE HILL
NORTH OAKS

FILE NO.
 64500-018
4B
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Charles A. Wiemerslage
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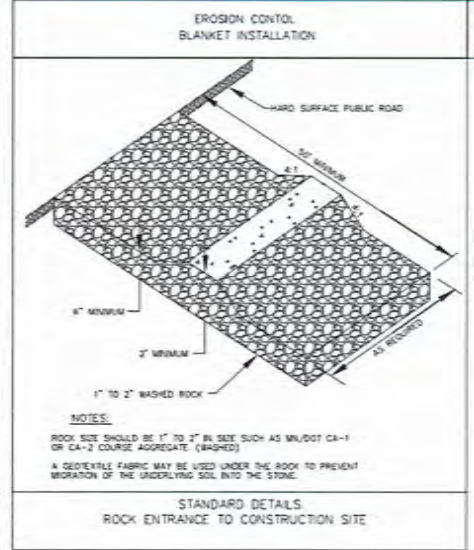
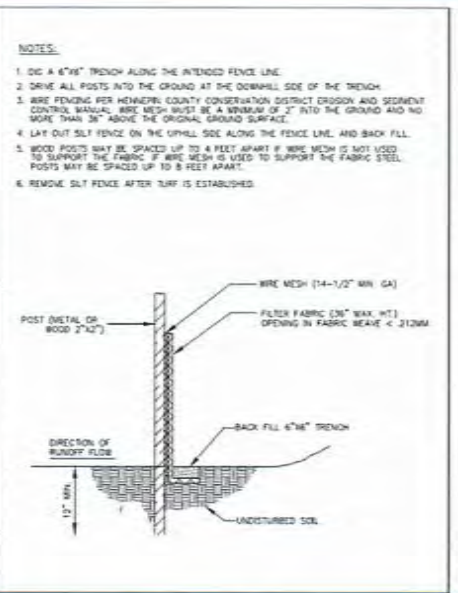
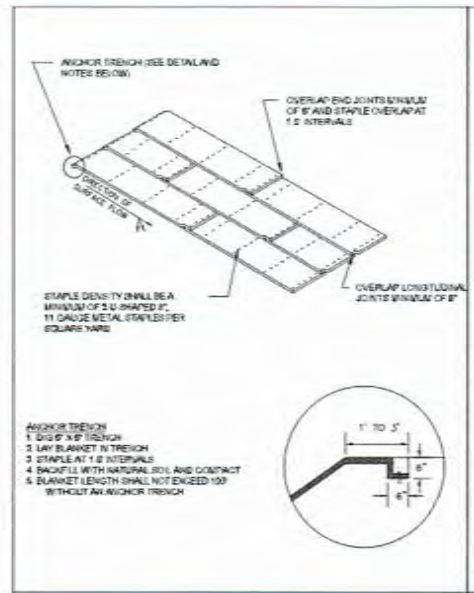
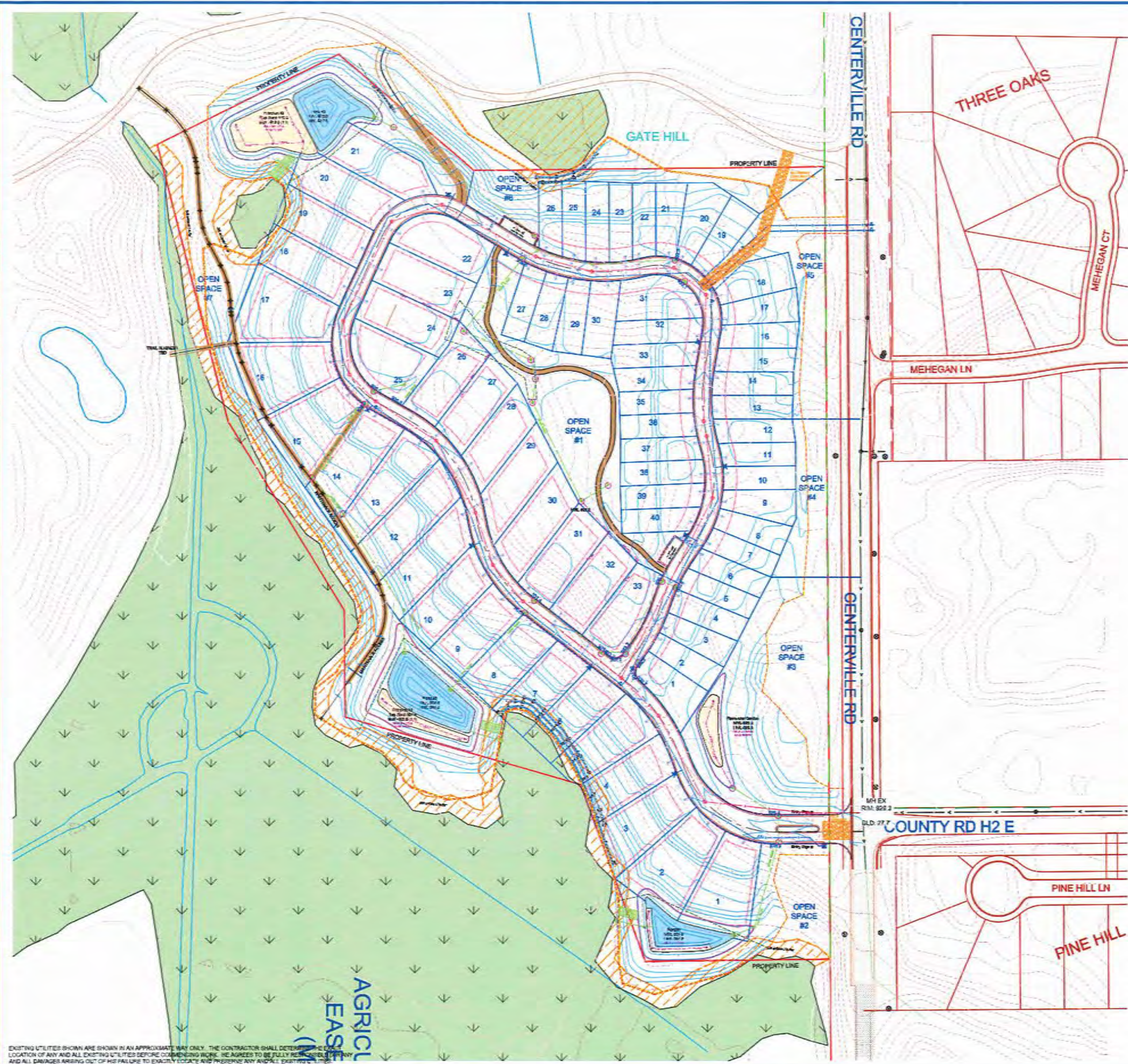
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CITY PROJECT NO.
 NORTH OAKS, MINNESOTA

FINAL GRADING PLAN
 GATE HILL
 NORTH OAKS

FILE NO.
 64500-018
 4C
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- CONSTRUCTION SEQUENCING**
1. INSTALL APPROPRIATE TEMPORARY EROSION CONTROL DEVICES TO PREVENT SEDIMENT FROM LEAVING OR ENTERING THE PRACTICE DURING CONSTRUCTION.
 2. ALL DOWN-GRADE PERIMETER SEDIMENT CONTROL BMP'S MUST BE IN PLACE BEFORE ANY UP GRADIENT LAND DISTURBING ACTIVITY BEGINS.
 3. PERFORM CONTINUOUS INSPECTIONS OF EROSION CONTROL PRACTICES, ESPECIALLY AFTER EACH RAINFALL EVENT.
 4. INSTALL ALL UTILITIES (WATER, SANITARY SEWER, ELECTRIC, NATURAL GAS, PHONE, FIBER OPTIC, ETC) PRIOR TO SETTING FINAL GRADE OF INFILTRATION BASIN.
 5. INFILTRATION AREAS ARE NOT ALLOWED TO BE USED AS TEMPORARY SEDIMENT BASINS.
 6. COMPLETE, STABILIZE, AND VEGETATE ALL OTHER SITE IMPROVEMENTS.
 7. ONLY AFTER UPSTREAM CONSTRUCTION IS COMPLETED, CAN THE INFILTRATION BASIN BE CONSTRUCTED TO FINAL GRADE. ONCE GRADING IS COMPLETED, INSTALL FILTER TOPSOIL BORROW AND VEGETATE IN ACCORDANCE WITH THE RESTORATION PLAN.
 8. MOUND FILTER TOPSOIL BORROW SHALL BE FILLED AFTER INSTALLATION IN THE BASIN TO REDUCE COMPACTION DURING INSTALLATION.
 9. REMOVE TEMPORARY EROSION CONTROL DEVICES AFTER THE CONTRIBUTING DRAINAGE AREA IS ADEQUATELY VEGETATED.

- ROCK ENTRANCE BERM**
- SILT FENCE**
- POST GRADING SILT FENCE**
- BIO-ROLL**
- CONCRETE WASHOUT**
- INLET PROTECTION**
- EROSION CONTROL BLANKET (for 3:1 slopes as needed)**

- ON-SITE BMP'S**
1. NURP POND - NURP POND WILL BE UTILIZED TO MEET OR EXCEED QUALITY AND RATE CONTROL REQUIREMENTS.
 2. SKIMMERS - THE POND OUTLET STRUCTURE INCLUDES A DRAIN TILE FROM THE SAND BASIN TO ALLOW SKIMMING.
 3. RIP RAP - RIP RAP WILL BE UTILIZED AT ALL APRONS FOR ENERGY DISSIPATION AND PROVIDE SEDIMENT CONTROL.
 4. INLET PROTECTION - INLET PROTECTION WILL BE INSTALLED AND MAINTAINED IN ALL CATCH BASINS & REAR YARD STRUCTURES. REFER TO THE DETAILS ON THE EROSION CONTROL PLAN TO DETERMINE WHICH INLET PROTECTION DEVICE IS APPLICABLE.
 5. SLOPE STABILIZATION - SILT FENCE WILL BE INSTALLED ALONG DOWN GRADIENT GRADING LIMITS AND WOODFIBER BLANKET WILL BE UTILIZED ON ALL SLOPES 3:1 OR GREATER TO PROVIDE ADEQUATE SLOPE STABILIZATION.
 6. BIOROLLS (if needed) - BIOROLLS WILL BE INSTALLED ALONG REAR YARD SWALES AS NEEDED TO PREVENT SEDIMENT FROM REACHING THE NURP POND AND ULTIMATELY DOWNSTREAM WETLANDS.
 7. INFILTRATION RETENTION AREAS - INFILTRATION RETENTION AREAS WILL BE UTILIZED TO REDUCE/RETAIN THE RUNOFF FROM THE INCREASED HARD SURFACE.
 8. STREET SWEEPING - STREET SWEEPING WILL BE DONE A MINIMUM OF ONCE PER WEEK OR MORE FREQUENTLY TO CONTROL DUST AND VEHICLE TRACKING.
 9. PHOSPHOROUS FREE FERTILIZER - PHOSPHOROUS FREE FERTILIZER WILL ALSO BE USED ON SITE.

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Charles A. Wiemerslage
 Charles A. WIEMERSLAGE, P.E.
 Date: 06/30/21 Lic. No. 49160

SATHRE-BERGQUIST, INC.
 150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

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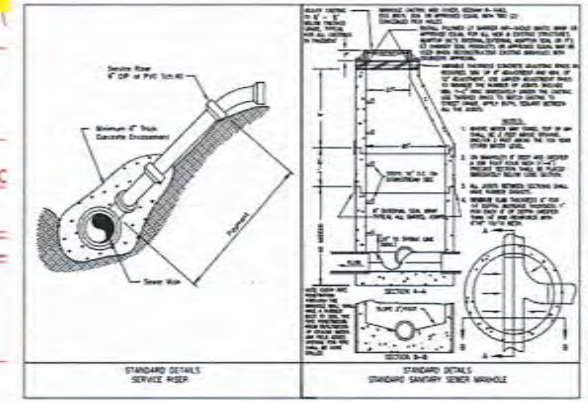
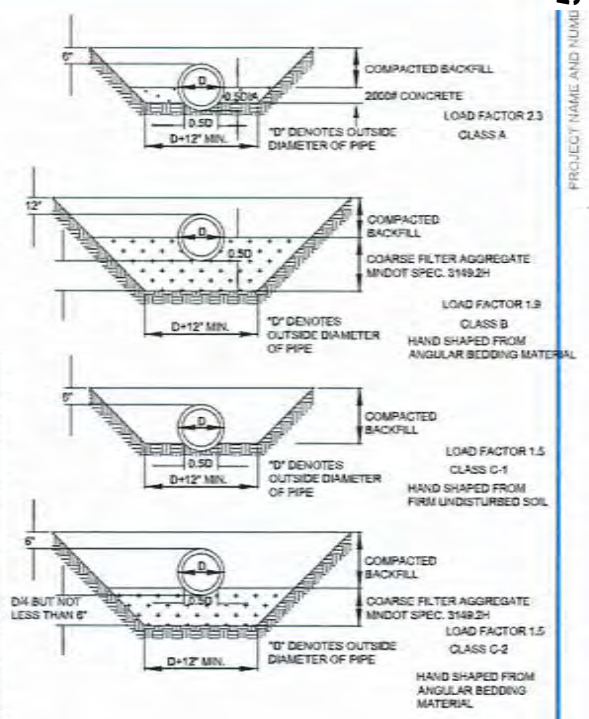
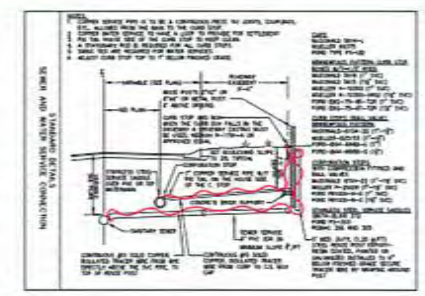
CITY PROJECT 179

NORTH OF MINNESOTA

Exhibit I: Final Erosion Control Plan

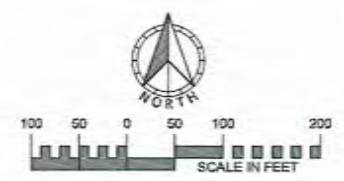
NORTH OAKS

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- SANITARY SEWER AND WATERMAIN NOTES:**
- ALL HYDRANT BENCHMARKS ARE TOP NUT OF HYDRANT.
 - WYE LOCATIONS TO BE SUPPLIED & VERIFIED BY CONTRACTORS. WYE STATIONING IS CALCULATED FROM THE DOWN STREAM MANHOLES.
 - ALL TIES AND DISTANCES ARE TO THE CENTER OF SURFACE STRUCTURES.
 - ALL HYDRANTS AND HYDRANT GATE VALVES ARE RETAINED AND TIED BACK TO THE WATERMAIN TEE BY MEANS OF APPROVED MEGALUGS UNLESS OTHERWISE NOTED.
 - ALL SEWER SERVICES ARE LOCATED 3 FEET DOWNSTREAM OF WATER SERVICES IF SEWER AND WATER ARE IN THE SAME TRENCH.
 - ALL SEWER AND WATER SERVICES ARE EXTENDED TO THE BASEMENT UNLESS NOTED.
 - ALL VALVES ON THE WATERMAIN FOR THIS PROJECT SHALL BE GATE VALVES. NO BUTTERFLY VALVES SHALL BE USED ON THE WATERMAIN FOR THIS PROJECT. POLY WRAP ENTIRE VALVE.
 - INSTALL HYDRANTS 7' BEHIND CURB (TYPICAL)
 - POLY WRAP ALL HYDRANT BARRELS
 - BAG ALL HYDRANTS UNTIL THEY ARE TESTED AND PUT IN SERVICE
 - ALL 4'-12" WATERMAIN SHALL BE DIP CL 12.
 - MECHANICAL BALLS SHALL BE INSTALLED IN SANITARY SEWER AT CONNECTION POINTS FOLLOWING INSTALLATION OF PIPE TO PROTECT EXISTING LINES FROM DEBRIS & SEDIMENT INFILTRATION. BALLS SHALL REMAIN UNTIL LINES ARE TELEVIEWED & ACCEPTED BY THE CITY.
 - THE CONTRACTOR SHALL CONTACT THE WHITE BEAR TOWNSHIP AT LEAST 48 HOURS PRIOR TO ANY PUBLIC SEWER/WATERMAIN CONNECTION.
 - ALL SANITARY SEWER MANHOLE ADJUSTING RINGS INSTALLATIONS SHALL HAVE POLYMER IF BARRIERS IS TO BE INF-SHIELD MASTIC WRAP OR APPROVED EQUAL INSTALLED.
 - CONCRETE ADJUSTING RINGS SHALL BE USED ON ALL MANHOLES AND CATCH BASINS.
 - ALL BELOW GRADE BOLTS, T-BOLTS, NUTS AND RODDING SHALL BE ASTM F 682 TYPE 316 STAINLESS STEEL. THIS APPLIES TO ALL FITTINGS, GATE VALVES, AND HYDRANTS.
 - SANITARY SERVICES SHALL BE 4" PVC SDR 26 WITH TRACER WIRE.
 - PROVIDE TRACE WIRE ALONG ALL PVC WATERMAIN #10 AWG THIN WITH BLUE INSULATION SUITABLE FOR UNDERGROUND BURY.
 - ALL FITTINGS SHALL BE DIP COMPACT FITTINGS WITH STAINLESS STEEL BOLTS AND POLY WRAPPED.

LEGEND		
DESCRIPTION	PROPOSED	EXISTING
BUILDING RETRACK LINE	---	---
GARAGE/SLACK LINE	---	---
PARCEL BOUNDARY LINE	---	---
DRAINAGE AND UTILITY ELEMENTS:		
CURB AND GUTTER	---	---
RIGHT-OF-WAY	---	---
SANITARY SERVICE	---	---
BACKYARD CATCH BASIN	---	---
CATCH BASIN	---	---
STORM SEWER MANHOLE	---	---
FLARED END SECTION WRAP-RAP	---	---
STORM STRUCTURE LABEL	---	---
SANITARY STRUCTURE LABEL	---	---
SANITARY SEWER MANHOLE	---	---
WATERMAIN	---	---
HYDRANT	---	---
GATE VALVE	---	---
BRANTLE - SIZE INDICATED ON PLAN	---	---



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Charles A. Wiemerslage
 CHARLES A. WIEMERSLAGE, P.E.
 Date: 01/30/21 Lic. No. 49160

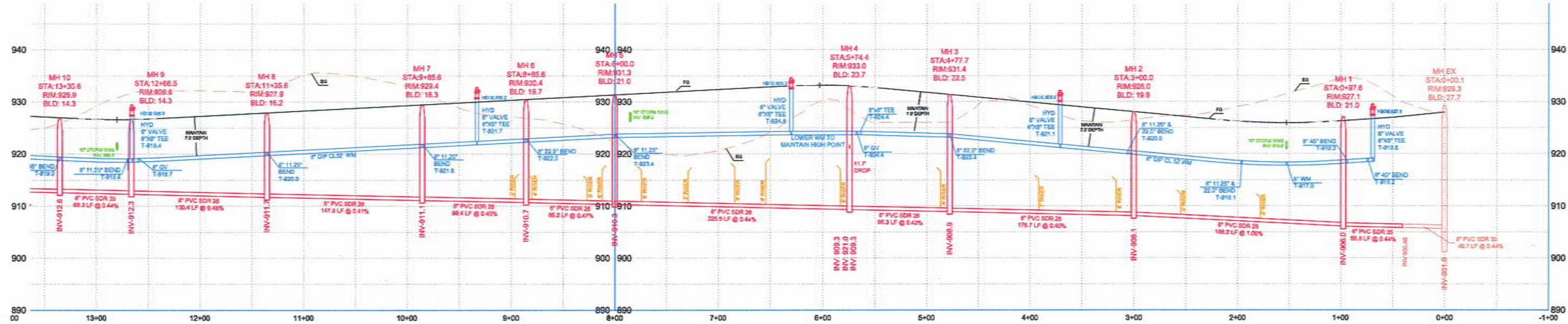


SATHRE-BERGQUIST, INC.
 150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-8000

MINNESOTA NORTH OAKS

Exhibit J: Final Sanitary Sewer and Watermain Plan

8



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 Date: 01/20/21 Lic. No. 49160

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 150 SOUTH BROADWAY WAYZATA, MN 55391 (952) 476-6000

ENGINEERS
 SURVEYORS
 PLANNERS

CITY PROJECT NO. —

NORTH OAKS, MINNESOTA

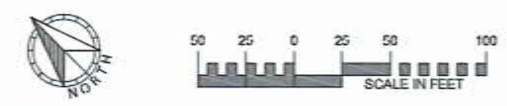
FINAL SANITARY SEWER & WATERMAIN PLAN

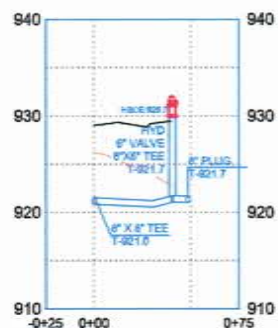
GATE HILL
NORTH OAKS

FILE NO. 64500-018

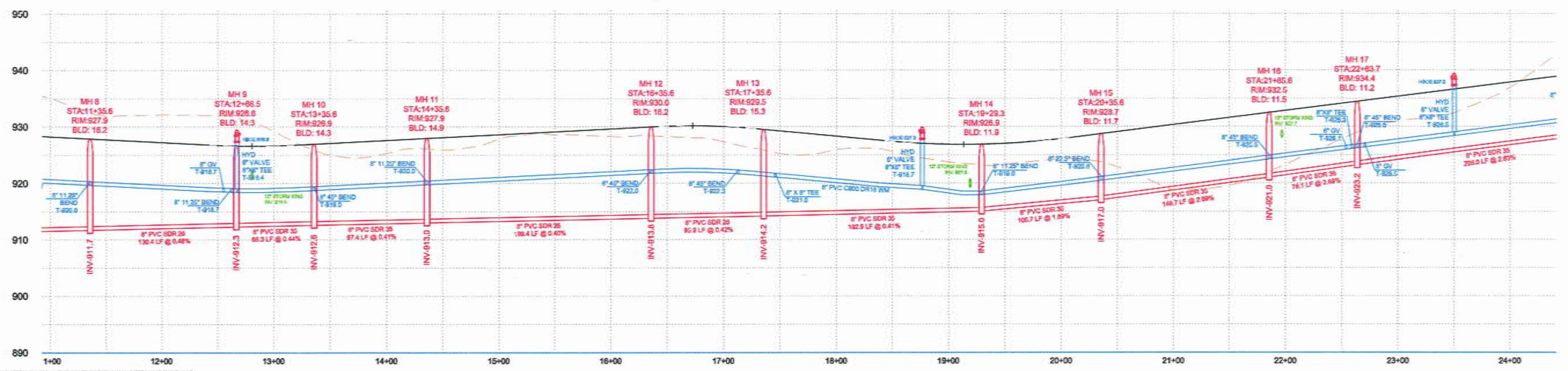
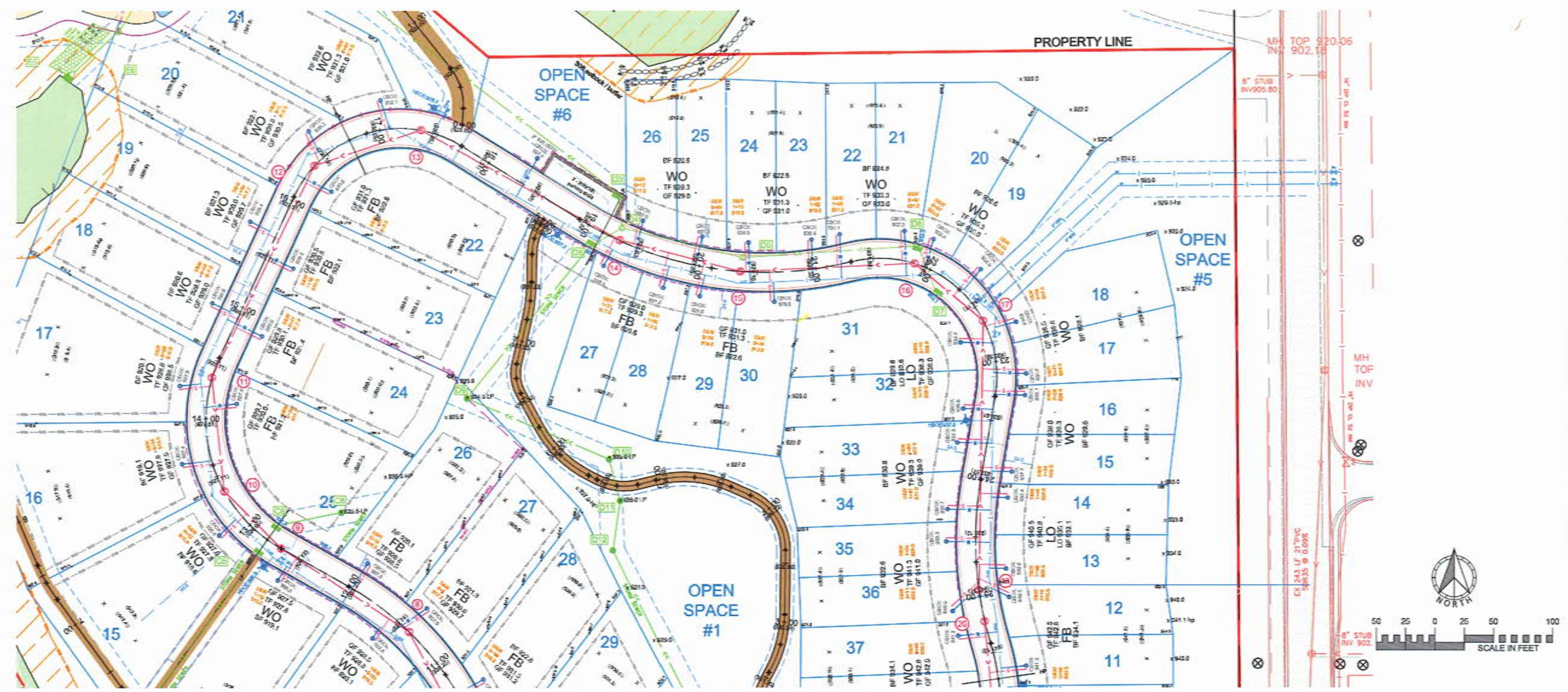
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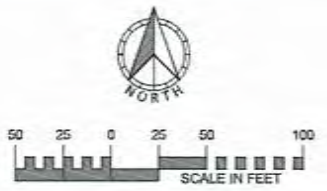
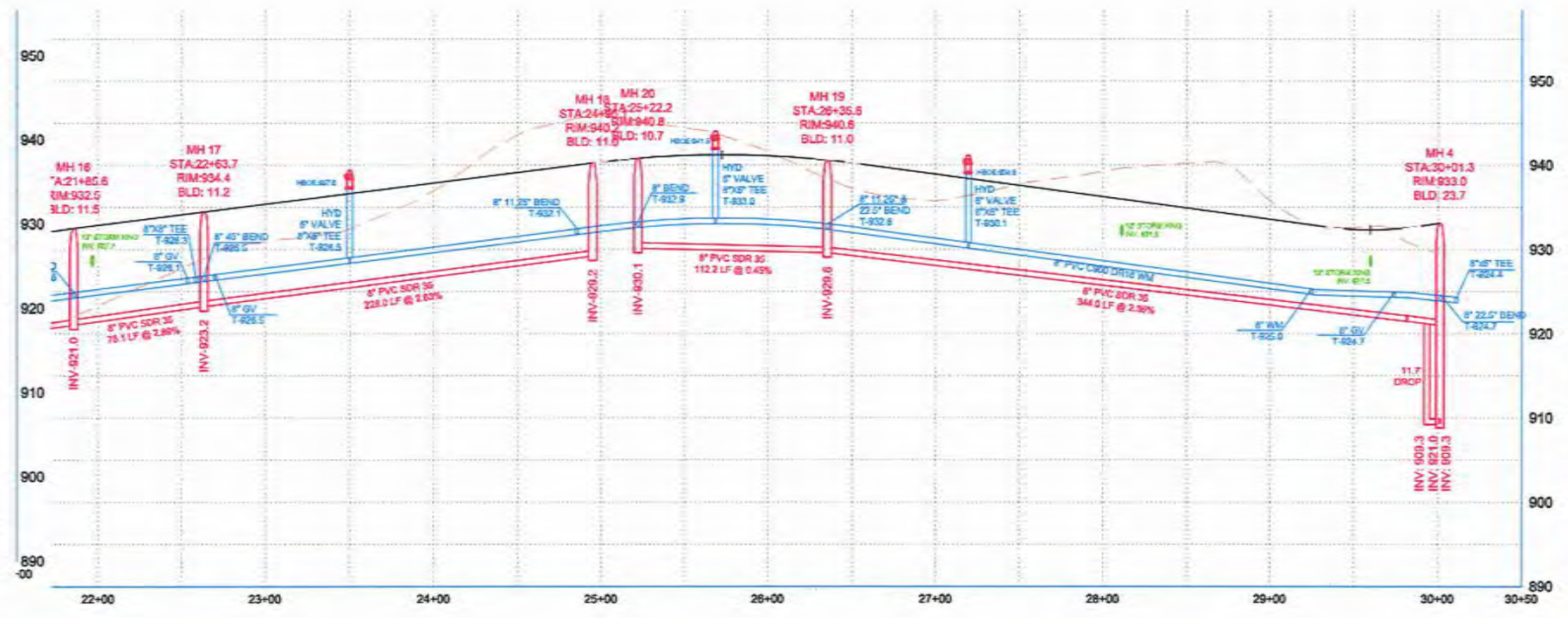
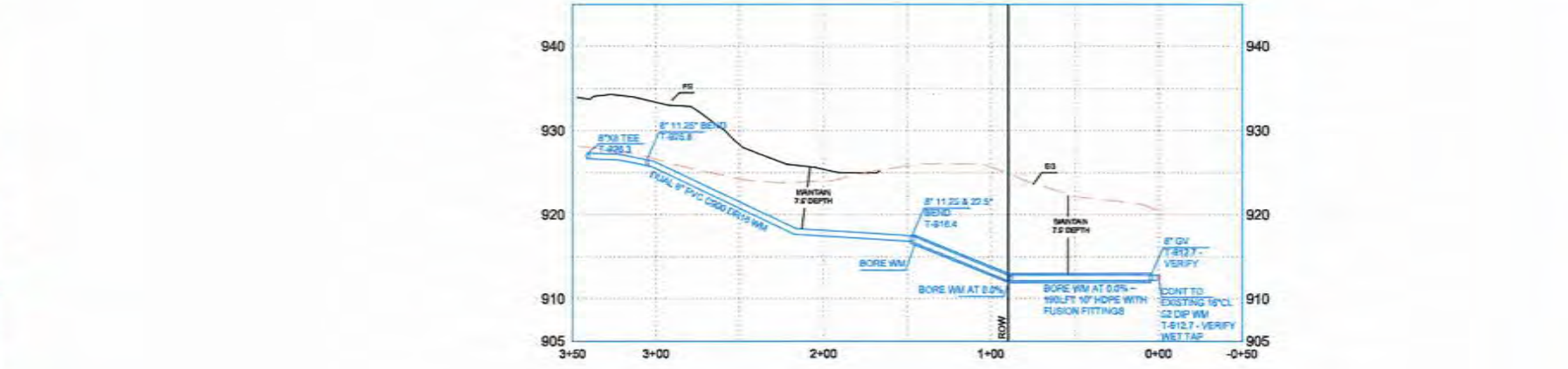
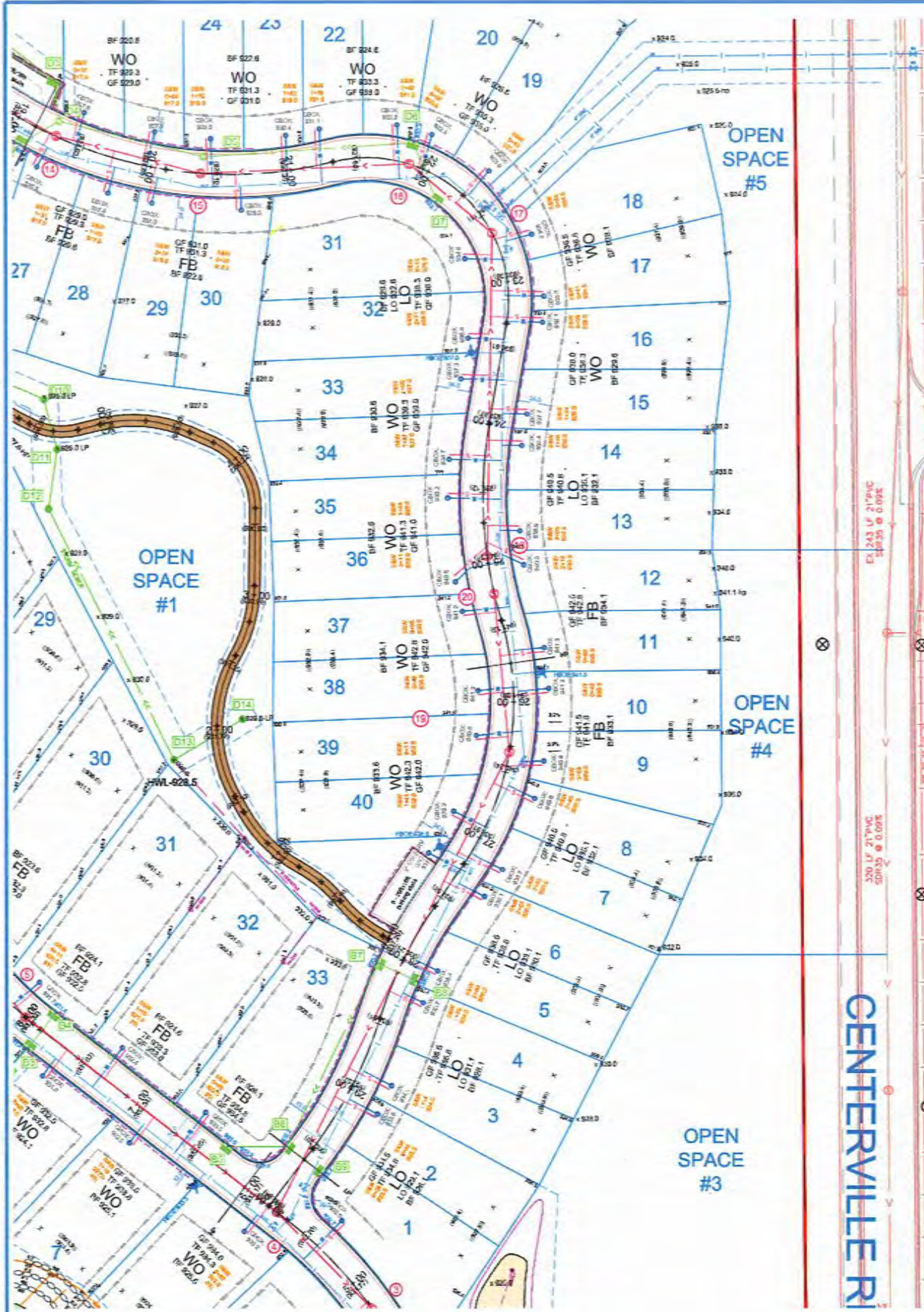
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Charles A. Wiemerslage
 Charles A. Wiemerslage, P.E.
 Date: 04/30/21 Lic. No. 49160

SATHRE-BERGQUIST, INC.
 150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

ENGINEERS
 SURVEYORS
 PLANNERS

CITY PROJECT NO.		FILE NO.	64500-018
NORTH OAKS, MINNESOTA		FINAL SANITARY SEWER & WATERMAIN PLAN	
GATE HILL		5C	
NORTH OAKS		8	



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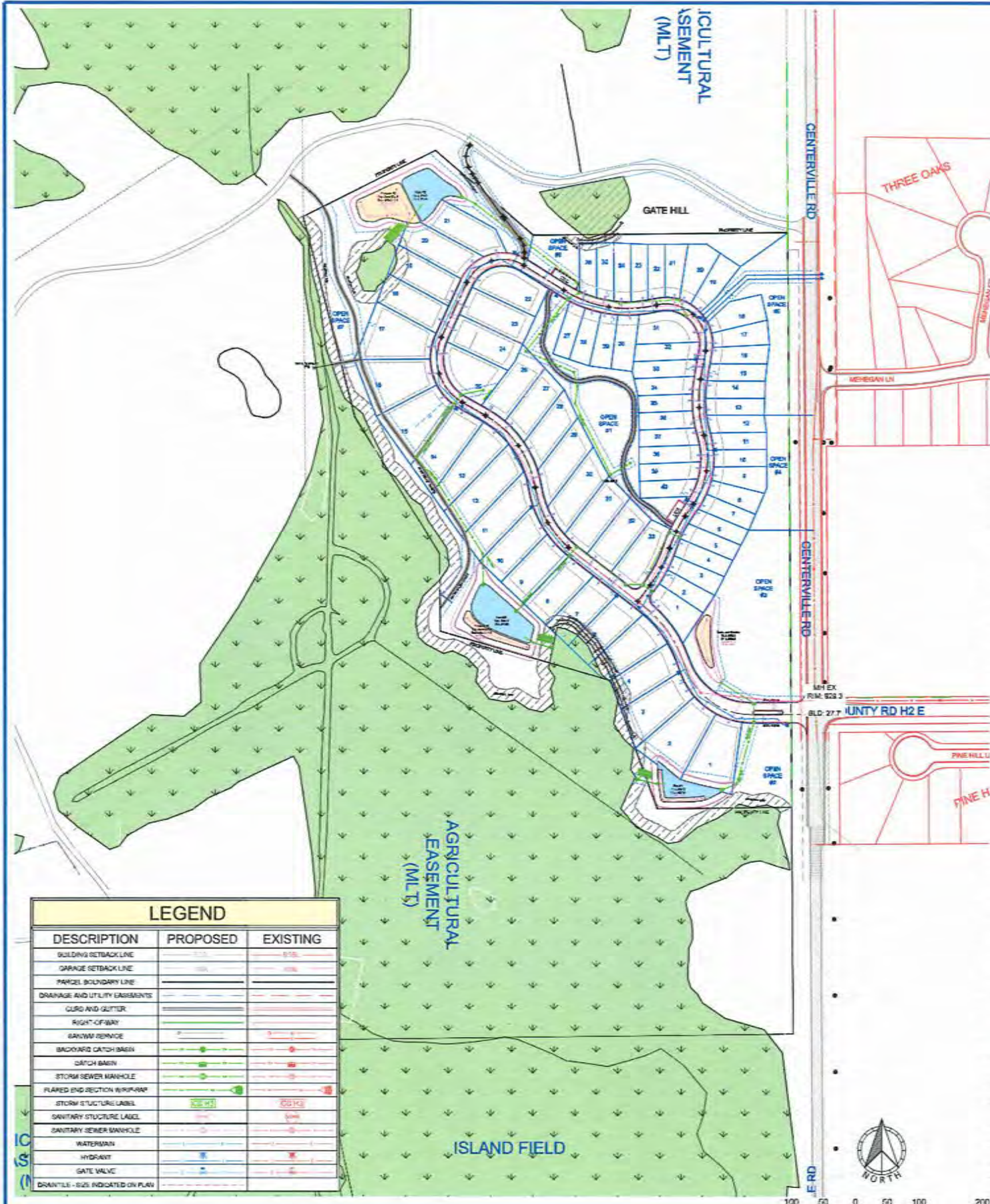
Charles A. Wiemerslage
 CHARLES A. WIEMERSLAGE, P.E.
 Date: 01/20/21 Lic. No. 4916

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 150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

CITY PROJECT NO.
 NORTH OAKS, MINNESOTA

FINAL SANITARY SEWER & WATERMAIN PLAN
 GATE HILL
 NORTH OAKS

FILE NO.
 64500-018
 5D
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LEGEND		
DESCRIPTION	PROPOSED	EXISTING
BUILDING SETBACK LINE		
GRANGE SETBACK LINE		
PARCEL BOUNDARY LINE		
DRAINAGE AND UTILITY EASMENTS		
CURB AND GUTTER		
RIGHT-OF-WAY		
SANITARY SERVICE		
BACKYARD CATCH BASIN		
CATCH BASIN		
STORM SEWER MANHOLE		
FLARED END SECTION WITH PUMP		
STORM STRUCTURE LABEL		
SANITARY STRUCTURE LABEL		
SANITARY SEWER MANHOLE		
WATERMAIN		
HYDANT		
GATE VALVE		
DRAINTILE - SIZE INDICATED ON PLAN		

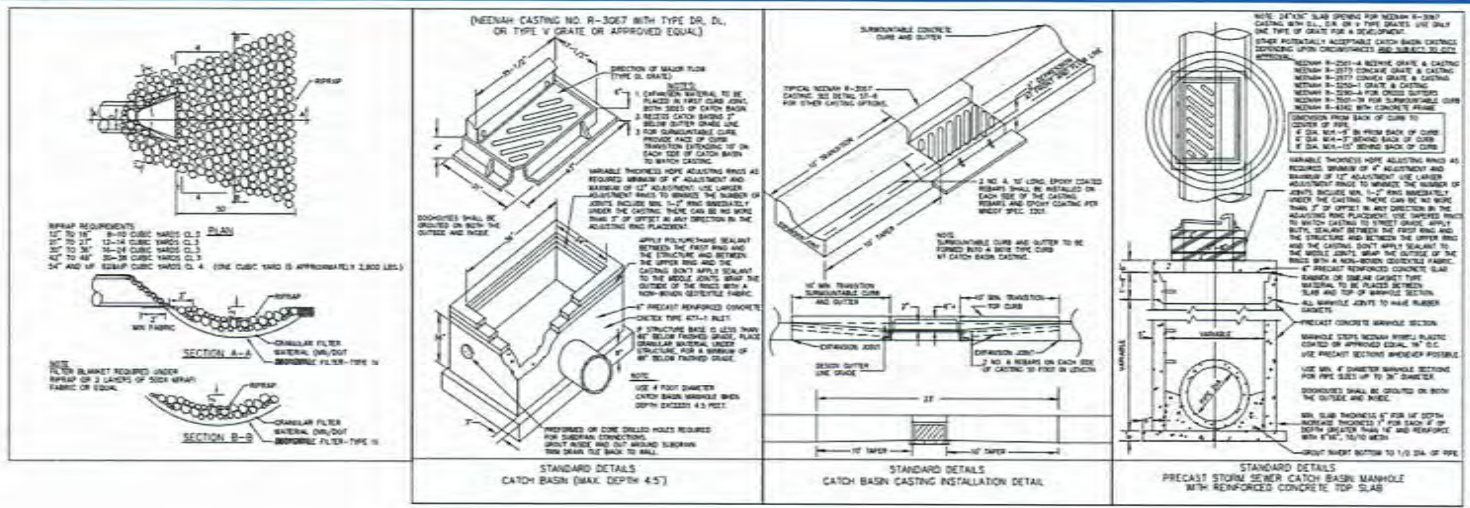
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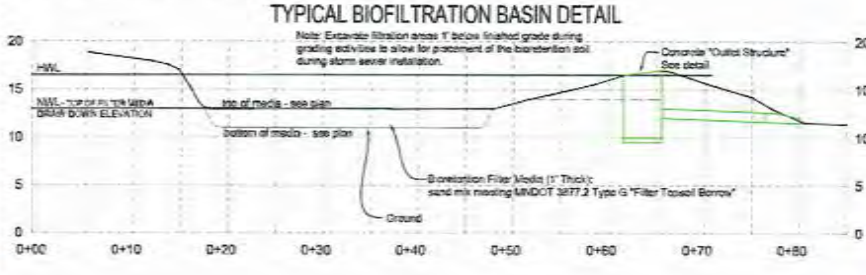
STRUCTURE TABLE						
STRUCTURE NAME	TYPE	DIAMETER	RIM	BUILD	INV	CASTING
A2	CBMH	48"	909.9	4.4'	905.5	R-4342
A3	CBMH	48"	925.9	10.2'	915.7	R-3607
A4	CBMH	48"	928.0	4.7'	921.3	R-3607
A5	CBMH	48"	926.1	3.6'	922.3	R-4342
B2	STMH	48"	911.8	4.6'	907.2	R-1642
B3	CBMH	48"	931.2	16.2'	915.0	R-3607
B4	CBMH	48"	930.7	4.2'	926.5	R-3607
B5	CBMH	48"	932.3	5.1'	927.2	R-3607
B6	CBMH	48"	931.7	4.0'	927.7	R-3607
B7	CBMH	48"	935.1	4.0'	931.1	R-3607
B8	CB	2'x3'	935.1	3.2'	931.9	R-3607
B9	CB	2'x3'	931.6	3.3'	928.3	R-3607
C2	CBMH	48"	912.4	5.2'	907.2	R-1642
C3	CBMH	48"	913.7	4.0'	909.7	R-4342
C4	STMH	48"	915.0	4.0'	911.0	R-1642
C5	CBMH	48"	925.9	9.2'	916.7	R-3607
C6	CBMH	48"	925.9	4.9'	921.0	R-3607
C8	CB	48"	925.5	3.5'	922.0	R-3607
D2	STMH	48"	918.1	3.9'	915.2	R-4342
D3	CBMH	48"	928.9	8.4'	918.5	R-4342
D4	STMH	48"	926.6	7.8'	918.8	R-1642
D5	STMH	27"	928.3	4.0'	924.3	R-1642
D6	CBMH	48"	932.0	4.3'	927.7	R-3607
D7	CB	2'x3'	932.4	4.0'	928.4	R-3607
D8	CBMH	48"	926.1	6.6'	919.5	R-3607
D9	CBMH	48"	924.5	3.9'	920.6	R-4342
D10	CBMH	48"	925.0	3.5'	921.5	R-4342
D11	CBMH	48"	928.0	4.2'	921.8	R-4342
D12	CBMH	48"	927.6	5.4'	922.2	R-4342
D13	CBMH	48"	928.1	3.9'	924.2	R-4342
D14	CB	27"	929.6	4.0'	925.6	R-4342

- 4" DRAINTILE (W/SDO) SHALL BE INSTALLED AT THE LOWPOINT CATCH BASINS 50' MIN. (STD) IN EACH DIRECTION & 100' IN THE UPHILL DIRECTION FOR ON SLOPE CATCH BASINS.
- TIE THE LAST 6 PIPE JOINTS TO FLARED END SECTIONS (TYPICAL).
- TRASH GUARDS SHALL BE PLACED ON ALL FLARED END SECTIONS 2" OR LARGER. THERE ARE NO TRASH GUARDS ON 12" THROUGH 21" F.E.S.'S.
- TIE ALL PIPE JOINTS IN AND OUT OF ALL OUTLET STRUCTURES.
- WIMCO'S OR APPROVED EQUAL TO BE INSTALLED AT ALL STORM INLETS.
- RIP-RAP FOR STORM SEWER SHALL BE CLASS 3 AND SHALL BE HAND PLACED.
- WET BASIN TO BE CLAY LINED (2" MINIMUM CLAY LINER).
- ALL ADJUSTING RINGS TO BE HDPE.
- SAND FILTER AND DRAINTILE FOR THE FILTER BASIN SHALL BE INSTALLED AFTER FINAL STABILIZATION.
- OUTLET CONTROL STRUCTURE GRATE TO BE GALVANIZED GRATE (SPLT) 4" X 4" OPENINGS.

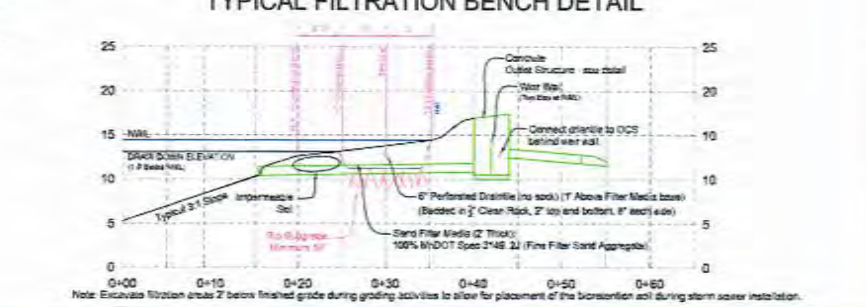
FES TABLE				
Structure Name	TYPE	SIZE (IN.)	INV	C.Y. RIP RAP
A1	FES	18	905.0	10.0
B1	FES	21	907.0	12.0
C1	FES	24	907.0	13.0
D1	FES	18	915.0	10.0
E1	FES	15	901.7	10.0
E3	FES	15	902.4	10.0
E5	FES	15	911.6	10.0

OUTLET STRUCTURE TABLE			
Structure Name	TYPE	INV	DETAIL
E2	OCS	903.5 904.00	SEE STRUCTURE DETAIL
E4	OCS	905.5 906.00	SEE STRUCTURE DETAIL
E6	OCS	914.5 915.00	SEE STRUCTURE DETAIL

- BIOFILTRATION BASIN NOTES:**
- Initial excavation of the basin shall be dug 1' below the finished final grade.
 - The biofiltration soil within the filtration basins will be installed after the storm sewer outlet control structure is installed.
 - To prevent soil compaction, heavy equipment shall not be allowed within the basins at any time.
 - The bottom of the filtration basin shall be filled a minimum of 12" prior to placing the biofiltration soil.
 - Relatively light equipment with tracks shall be used to excavate the filtration basins.
 - Immediately upon completion of grading the filtration basins, silt fence shall be installed per the plan to establish perimeter control.
 - The biofiltration soil shall be 1' deep.
 - The biofiltration soil shall be compost / sand mix meeting MNDOT 3677.2 Type G "Filter Topsoil Borrow".
 - Biofiltration plant seed mixture should be MNDOT seed Mix 33-261 and shall be stabilized with MNDOT Erosion Control Blanket, Category 4 (wood fiber). Seed mixture shall be applied at a rate of 35 lbs/ac based on 100% live seed.
 - Minnesota Mulch & Soil can supply and deliver this soil premixed. (651) 330-0298



- FILTRATION SHELF NOTES:**
- Initial excavation of the filtration shelves shall be dug 2' below the finished final grade.
 - The biofiltration soil within the filtration shelves will be installed after the storm sewer outlet control structure is installed.
 - To prevent soil compaction, heavy equipment shall not be allowed within the rain gardens at any time.
 - The bottom of the filtration shelves shall be filled a minimum of 12" prior to placing the biofiltration soil.
 - Relatively light equipment with tracks shall be used to excavate the filtration shelves.
 - Immediately upon completion of grading the filtration shelves, silt fence shall be installed per the plan to establish perimeter control.
 - The biofiltration soil within the shelves will be 2' deep with a 6" draitile raised one foot above the base of the biofiltration soil.
 - The biofiltration soil recommended by MNDOT of 3149.2 (fine filter sand aggregate).
 - The mix for the filtration shelves should be 100% sand.
 - Minnesota Mulch & Soil can supply and deliver this soil premixed. (651) 330-0298



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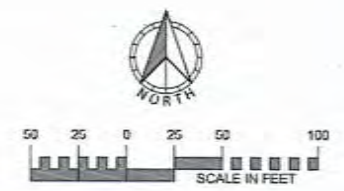
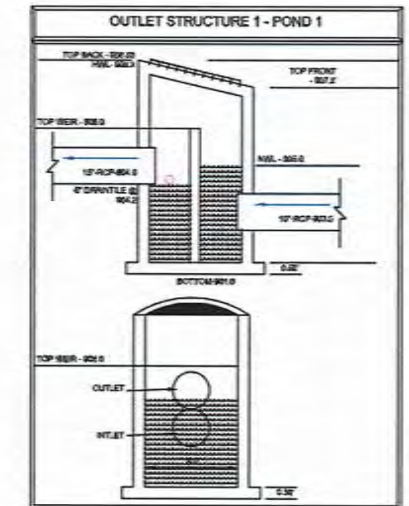
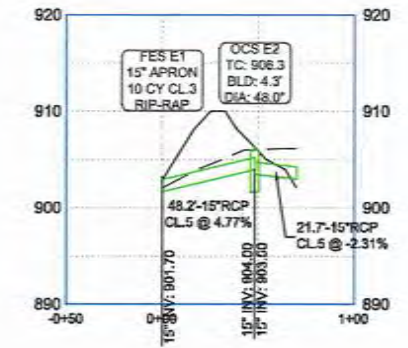
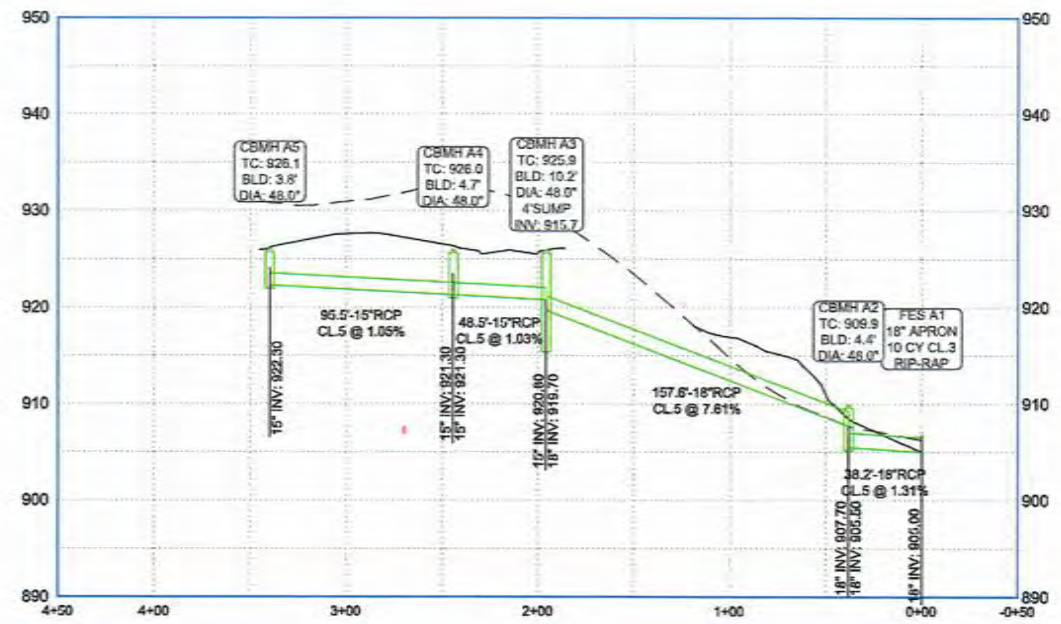
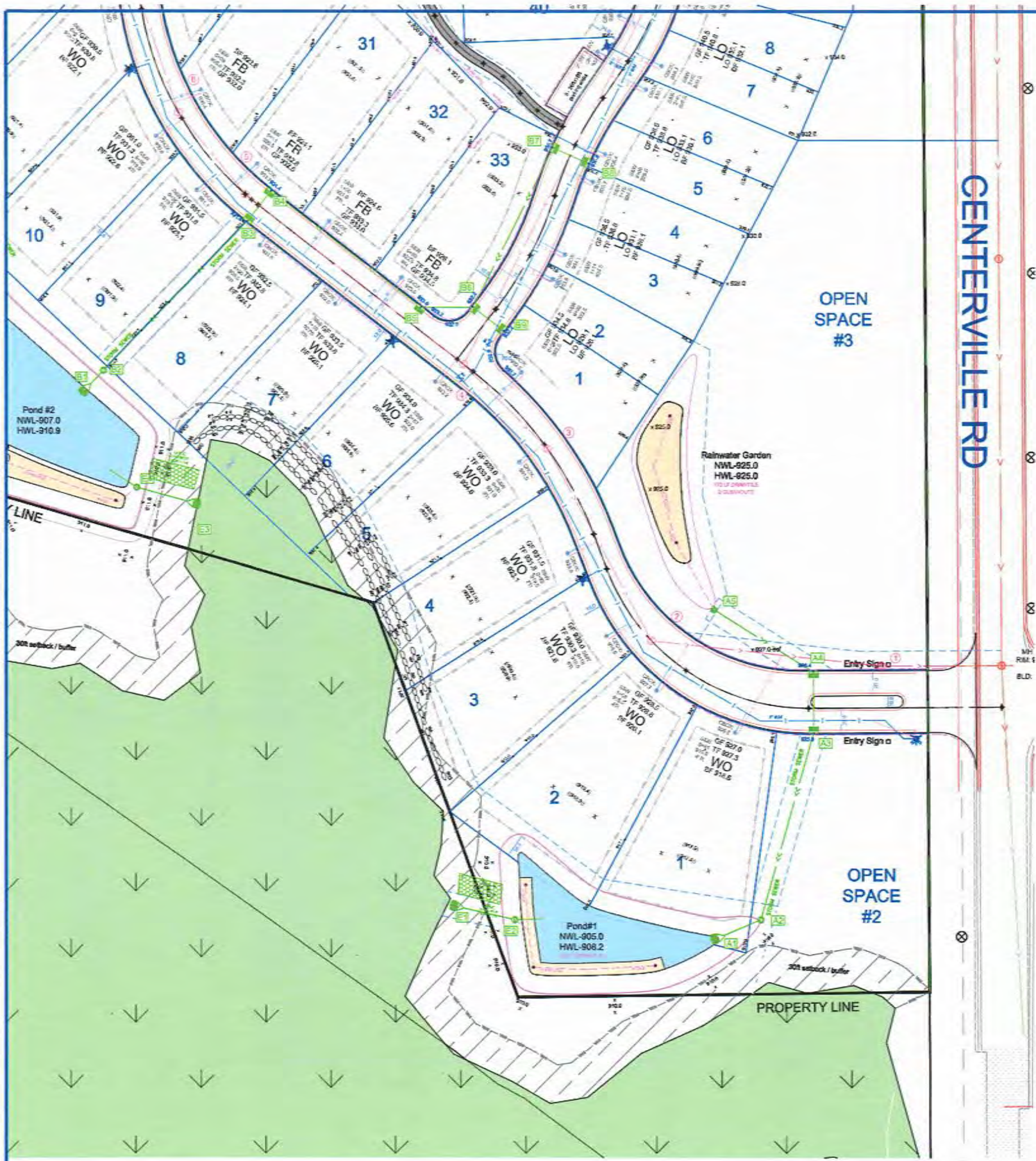
CITY PROJECT NO.
 NORTH OAKS, MINNESOTA

FILE NO.
 64500-018

Exhibit K: Final Storm Sewer Plan

6A

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Charles A. Wiemerslage
 CHARLES A. WIEMERSLAGE, P.E.
 Date: 01/20/21 Lic. No. 4766

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 150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

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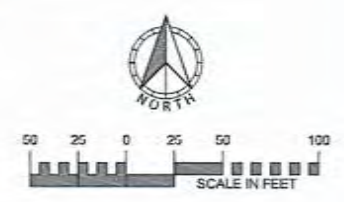
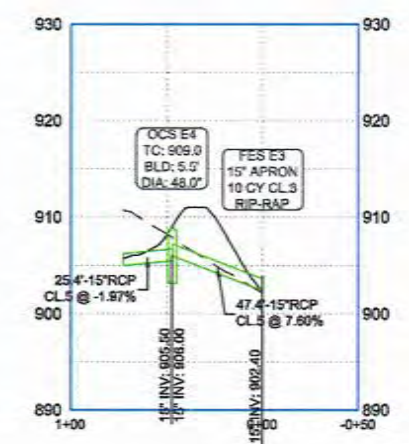
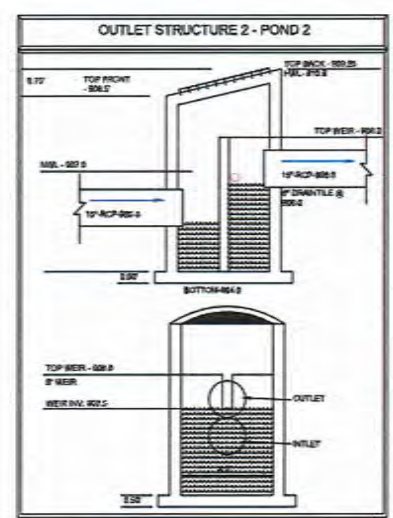
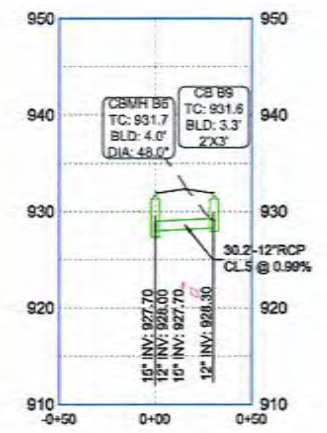
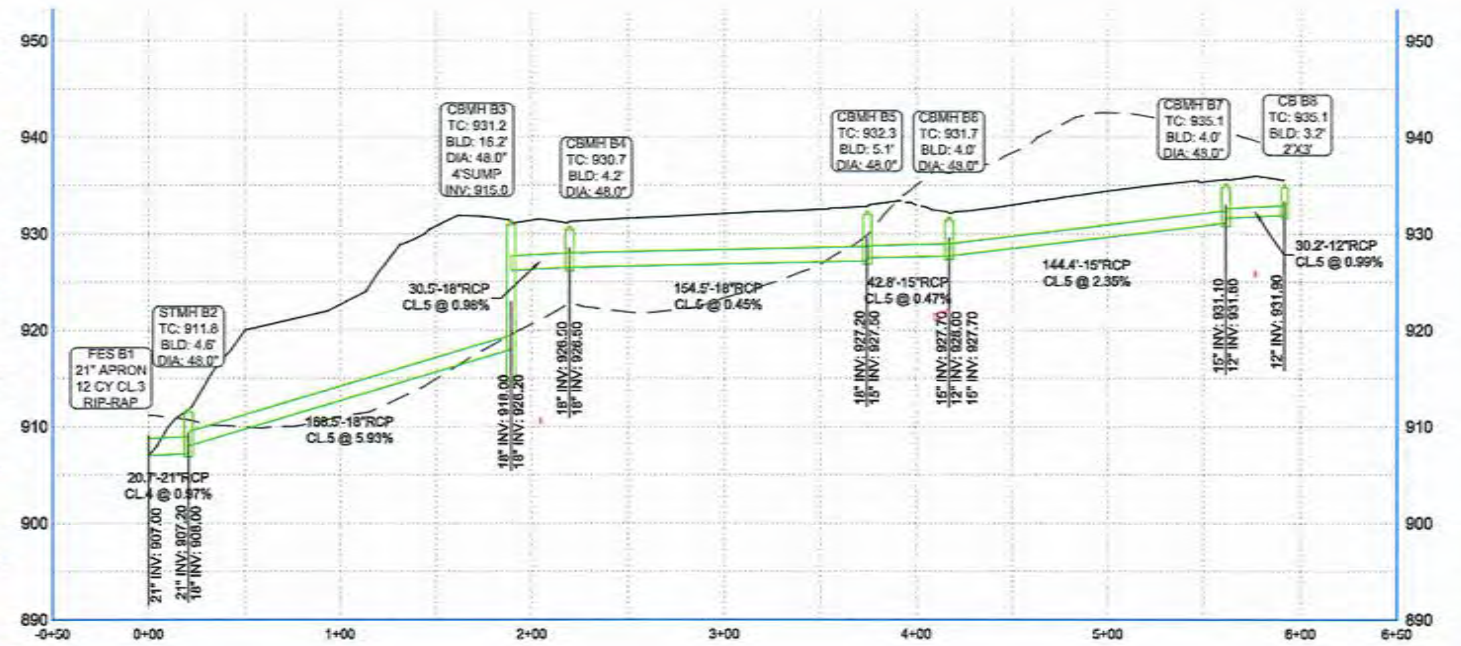
CITY PROJECT NO. _____

NORTH OAKS, MINNESOTA

FINAL STORM SEWER PLAN

GATE HILL
NORTH OAKS

FILE NO. 64500-018
6B
 8



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ENGINEERS SURVEYORS PLANNERS

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NORTH OAKS, MINNESOTA

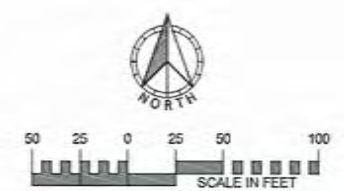
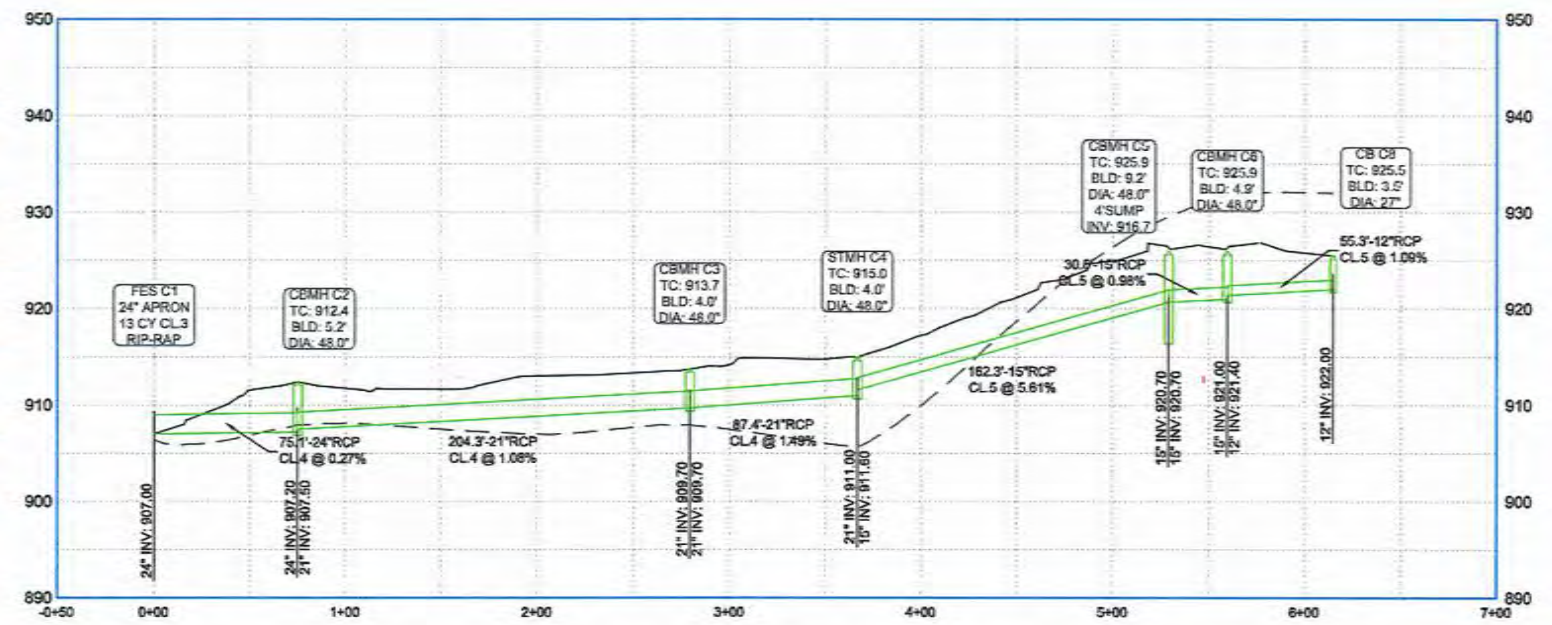
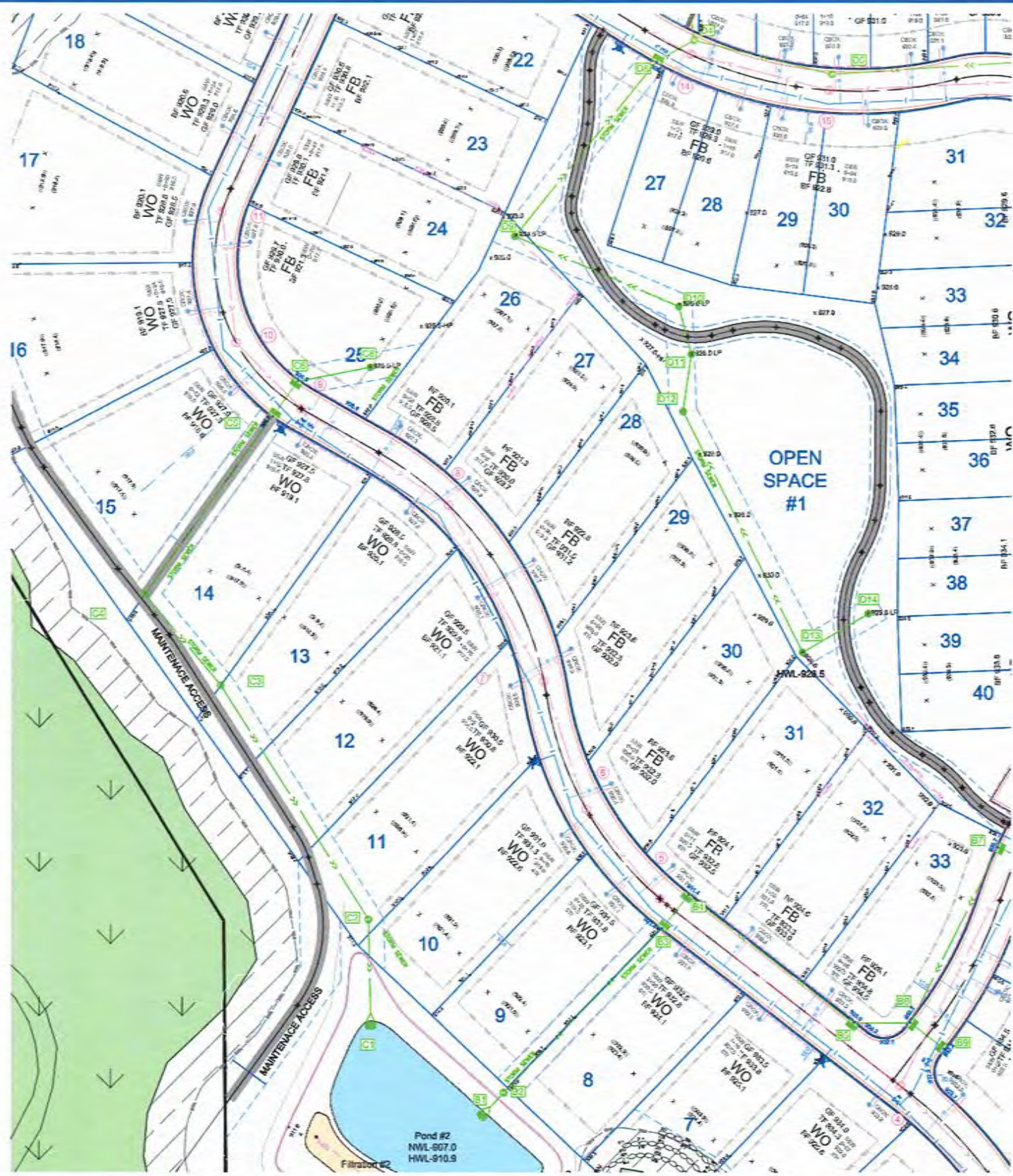
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GATE HILL
NORTH OAKS

FILE NO. 64500-018

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 CHARLES A. WIEMERSLAGE, P.E.
 Date: 01/20/21 Lic. No. 49180

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ENGINEERS SURVEYORS DESIGNERS PLANNERS

CITY PROJECT NO. —

NORTH OAKS, MINNESOTA

FINAL STORM SEWER PLAN

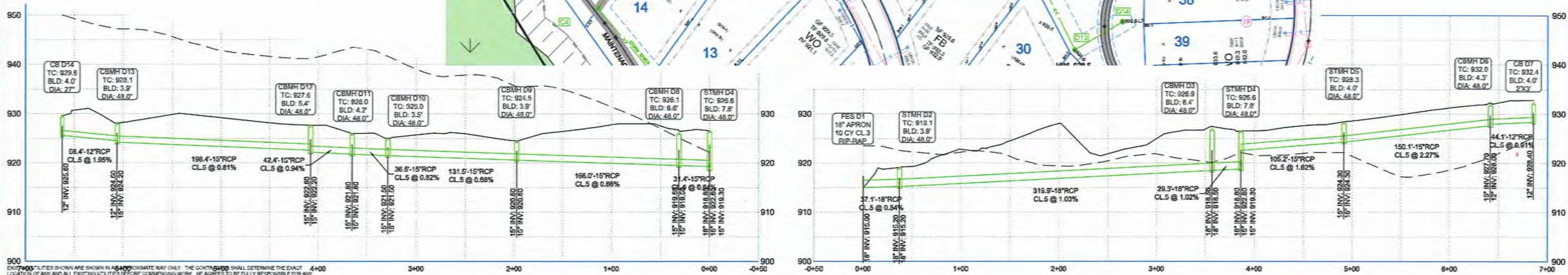
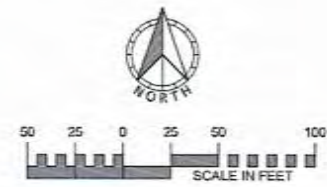
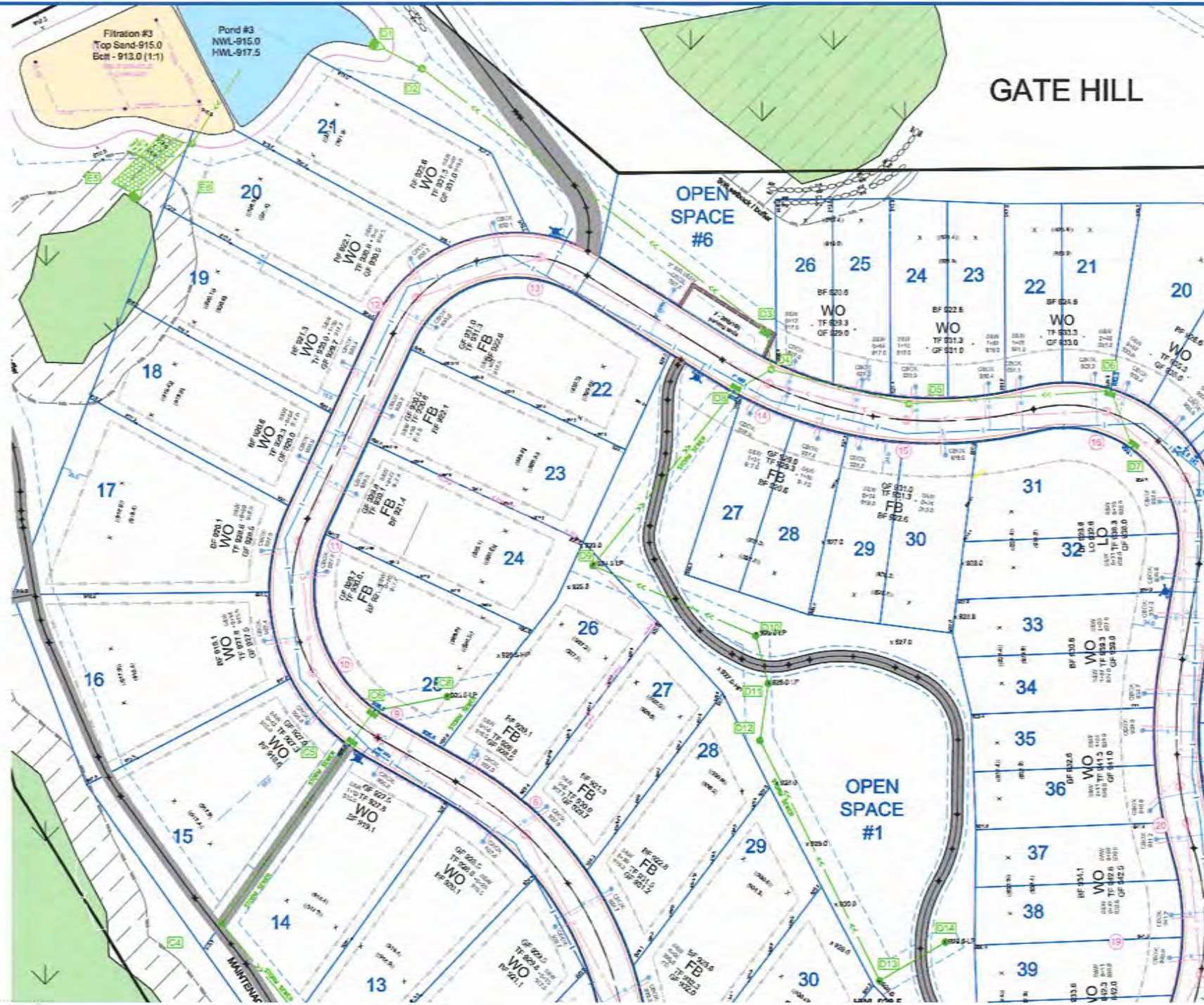
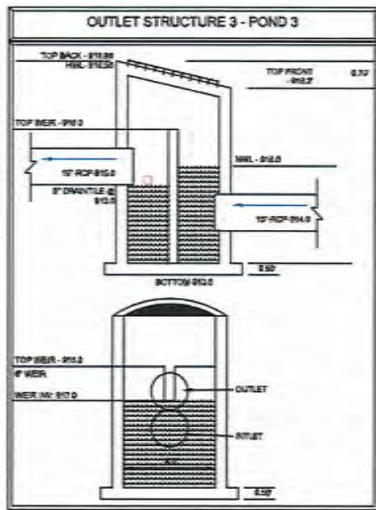
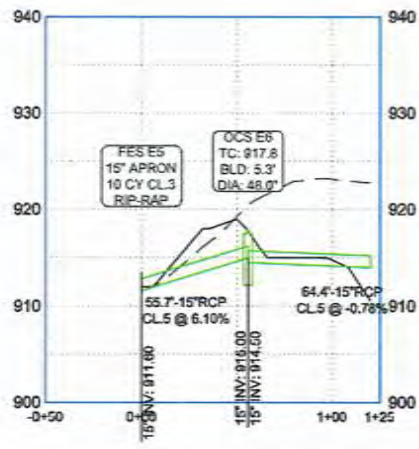
GATE HILL

NORTH OAKS

FILE NO. 64500-018

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GH-SHEETS-UTILITY				
DRAWN BY				
CHECKED BY				
DATE				

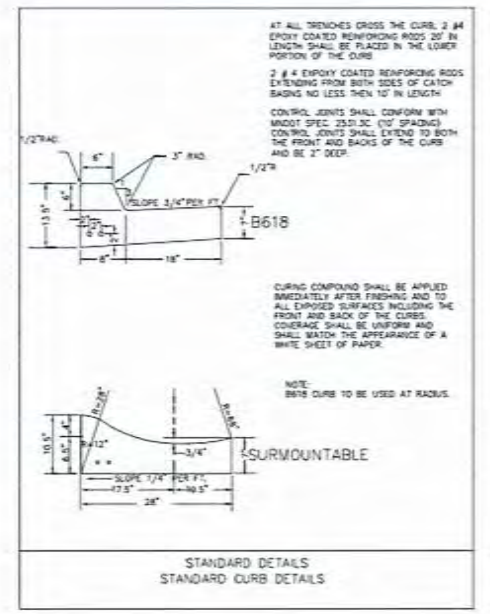
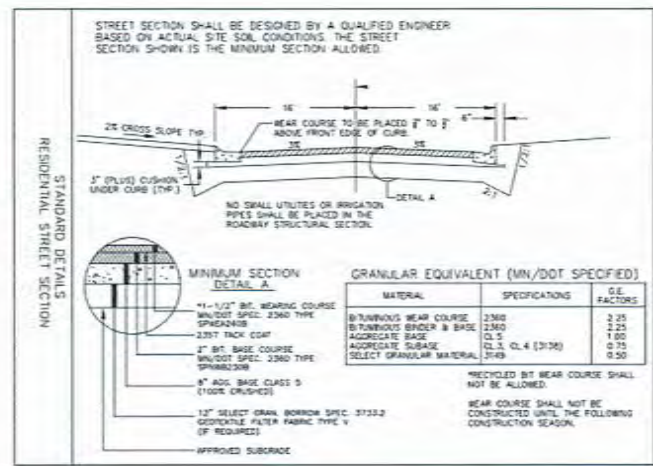
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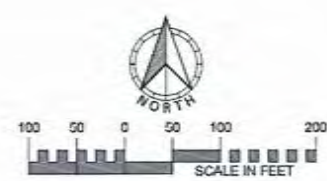
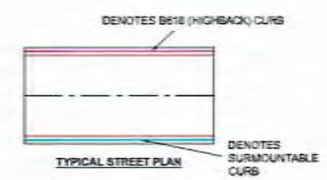
Charles A. Wiemerslage
 CHARLES A. WIEMERSLAGE, P.E.
 Date: 04/30/21 Lic. No. 49160

SATHRE-BERGQUIST, INC.
 150 SOUTH BROADWAY WAYZATA, MN 56391 (952) 476-6000

CITY PROJECT NO.		FILE NO.	64500-018
NORTH OAKS, MINNESOTA		FINAL STORM SEWER PLAN	
		GATE HILL	
		NORTH OAKS	
		6D	
		8	



- STREET NOTES**
- STREETS TO BE 32' WIDE WITH SURMOUNTABLE CURB
 - BITUMINOUS WEAR COURSE TO BE PLACED ONE CONSTRUCTION SEASON AFTER UTILITIES ARE INSTALLED
 - RECYCLED MATERIAL (RAP AND RAS) ARE NOT ALLOWED IN THE BITUMINOUS WEAR COURSE
 - THE EXISTING BITUMINOUS PAVEMENT SHALL BE SAWCUT AT THE END OF THE PAVEMENT TO CREATE A VERTICAL MATCH LINE. THE EXISTING BITUMINOUS SURFACE SHALL ALSO BE MILLED TO A DEPTH OF 1.5 INCHES AND A MINIMUM WIDTH OF 1 FOOT. ALL EXISTING SURFACES TO BE PAVED SHALL BE TACKED PRIOR TO PAVING.
 - STREET IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2021 MNDOT SPECIFICATIONS.



EXISTING UTILITIES SHOWN ARE SHOWN IN AN APPROXIMATE MANNER ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY AND ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES ARISING OUT OF HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES.

DRAWING NAME	NO.	BY	DATE	REVISIONS
GH-SHEETS-UTILITY				
DRAWN BY				
CHECKED BY				
DATE				
01/18/21				

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Charles A. Wiemerslage
 CHARLES A. WIEMERSLAGE, P.E.
 Date: 04/20/21 Lic. No. 49180

SATHRE-BERGQUIST, INC.
 150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-8000

ENGINEERS SURVEYORS
 DESIGNERS PLANNERS

CITY PROJECT NO.
 NORTH OAKS, MINNESOTA

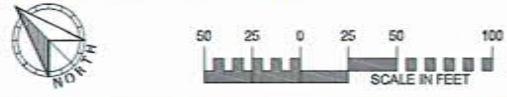
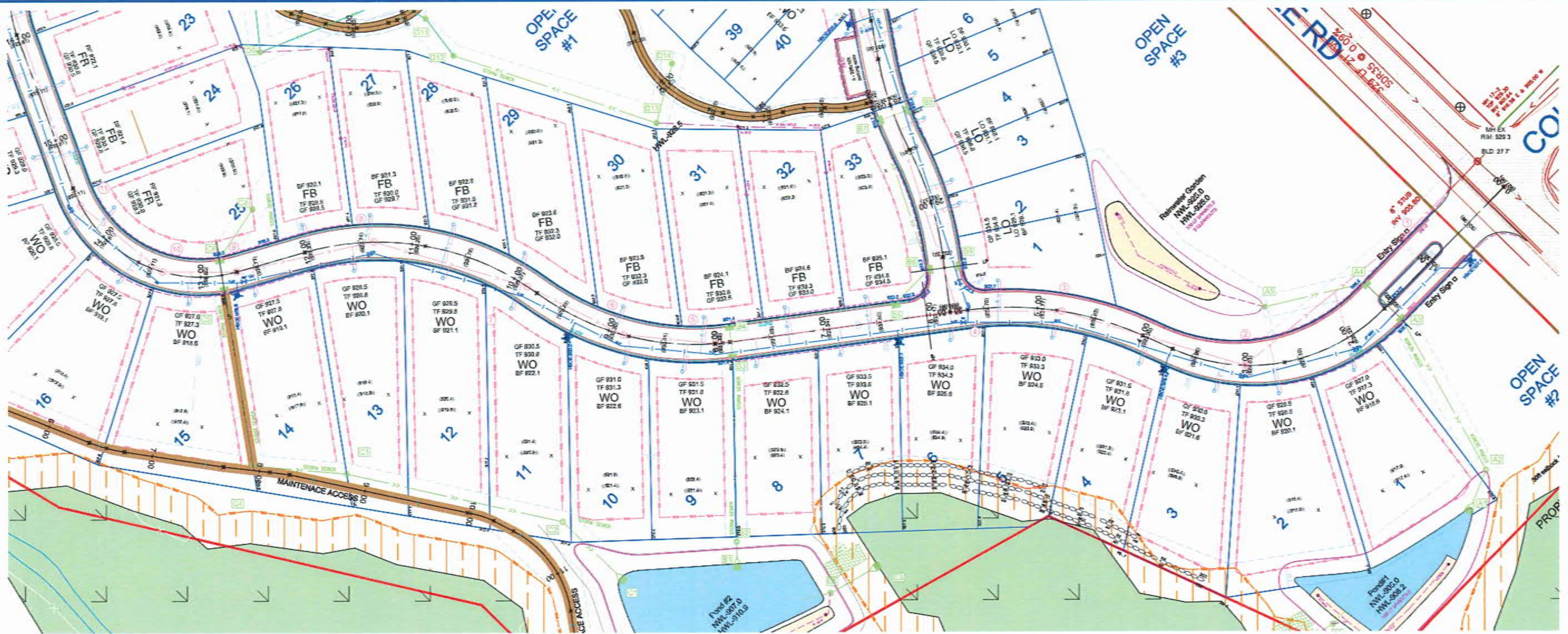
FILE NO.
 84500-018

Exhibit L: Final Street Plan

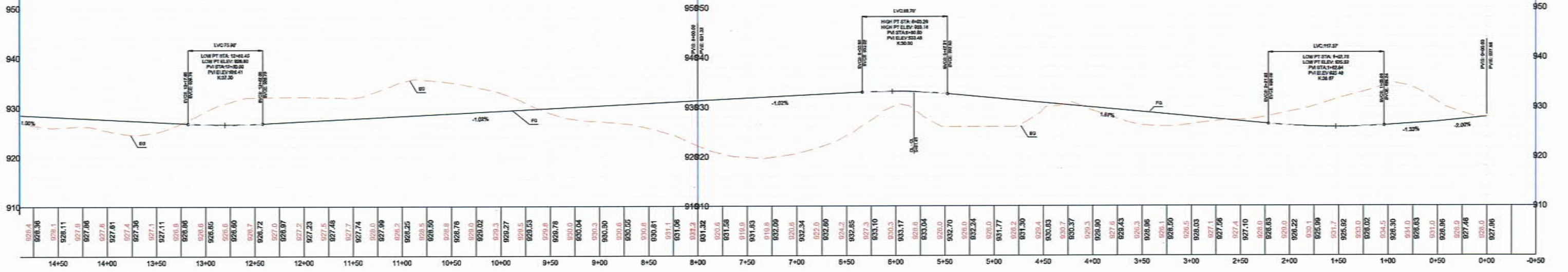
NORTH OAKS

7A

8



STREET NAME



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DRAWING NAME	NO.	BY	DATE	REVISIONS
GH-SHEETS-UTILITY				
DRAWN BY				
CHECKED BY				
DATE				
01/18/21				

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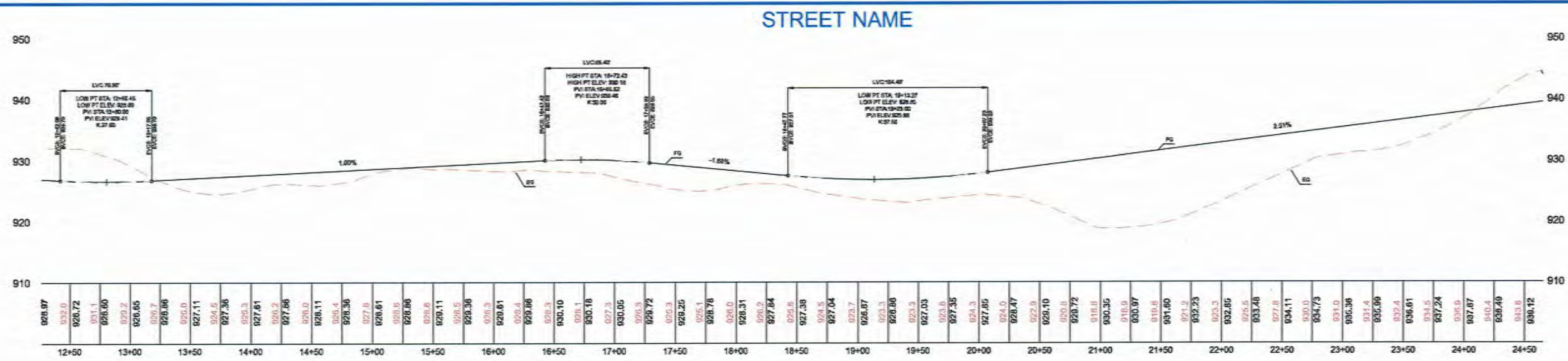
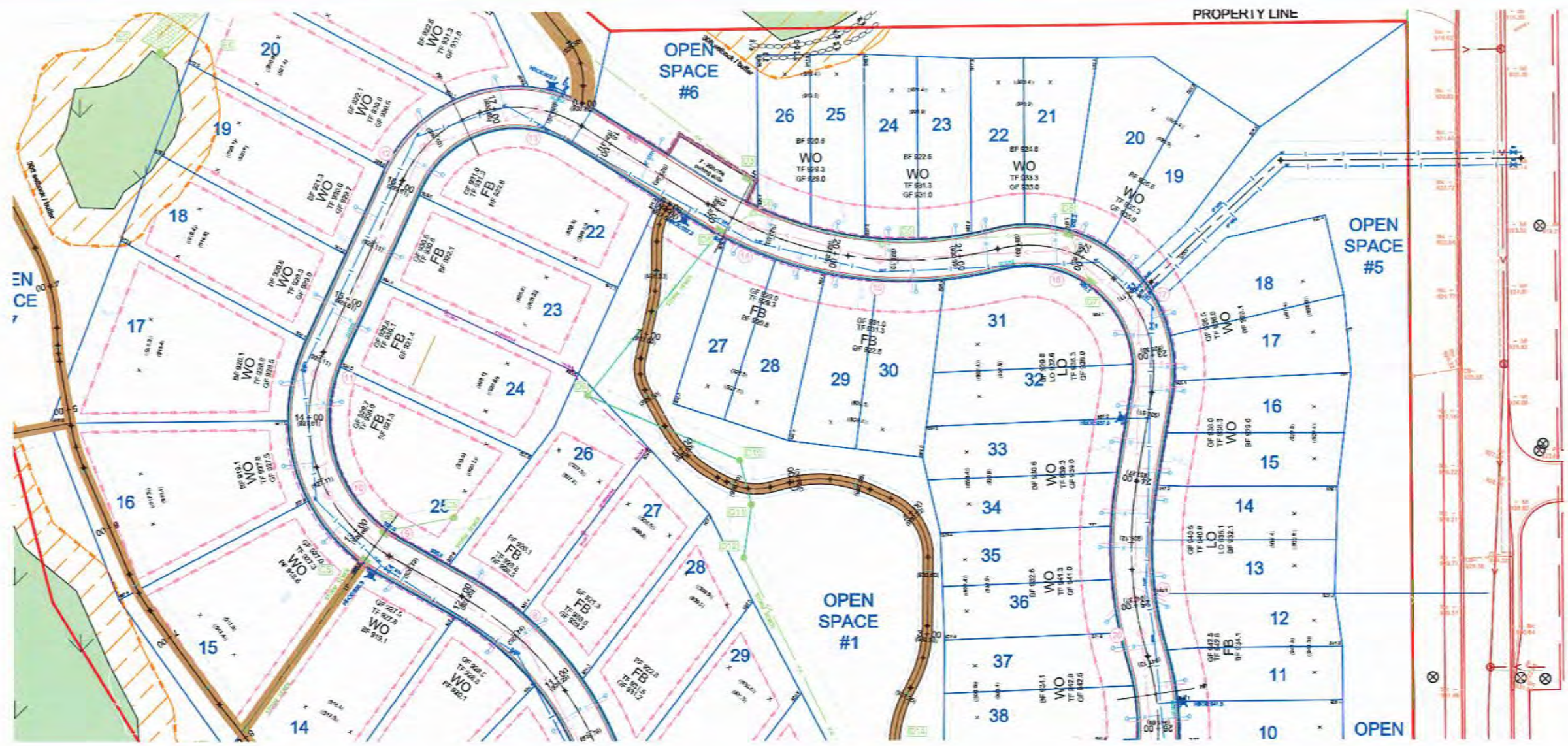
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Charles A. Wiemerslage
 CHARLES A. WIEMERSLAGE, P.E.
 Date: 01/18/21 Lic. No. 49180

SATHRE-BERGQUIST, INC.
 150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

ENGINEERS SURVEYORS
 PLANNERS

CITY PROJECT NO.		FILE NO.	64500-018
NORTH OAKS, MINNESOTA		7B	
FINAL STREET PLAN GATE HILL NORTH OAKS		8	



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DRAWING NAME	NO.	BY	DATE	REVISIONS
GH-SHEETS-UTILITY				
DRAWN BY				
CAD				
CHECKED BY				
RSM				
DATE				
01/18/21				

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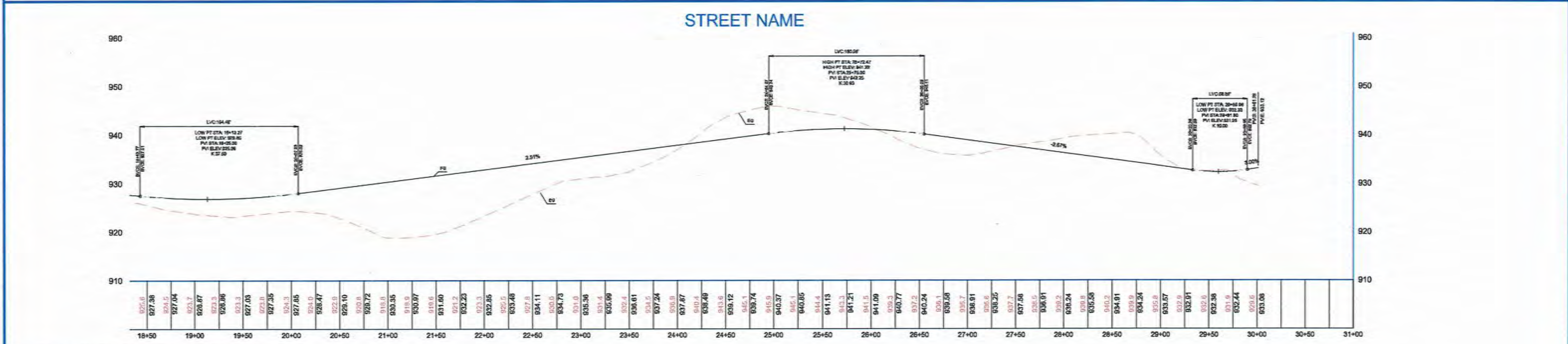
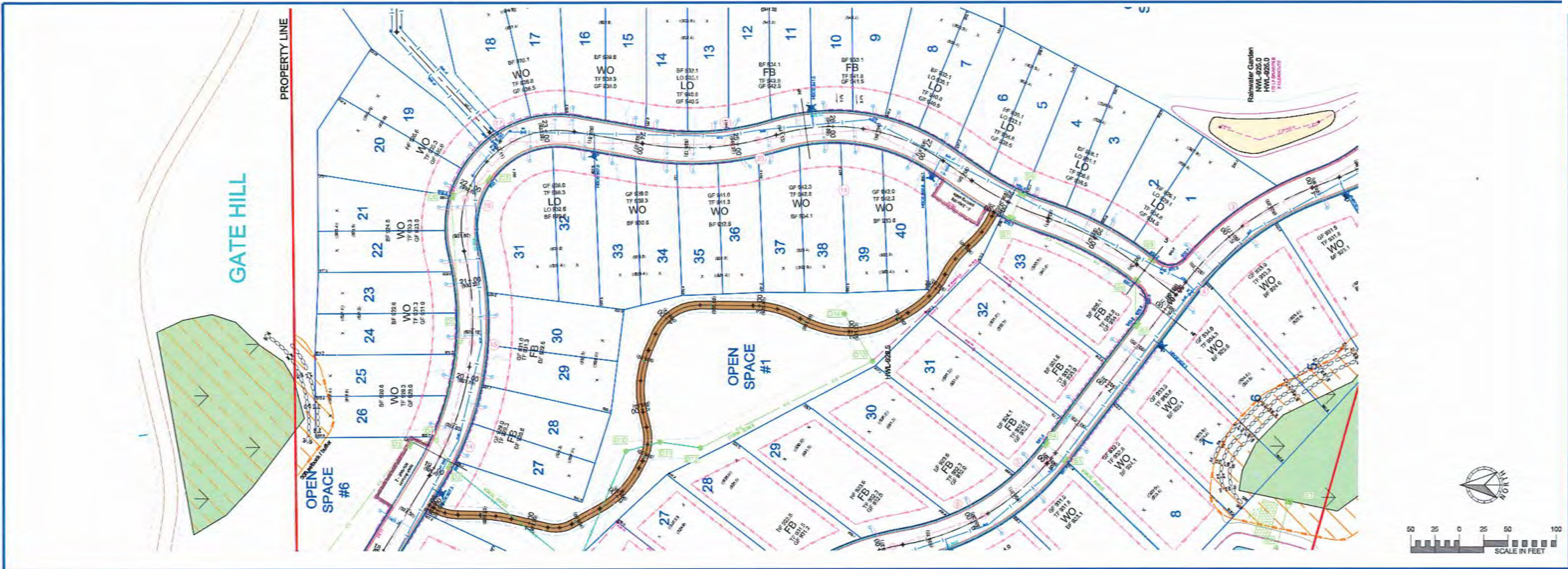
Charles A. Wiemerslage
 CHARLES A. WIEMERSLAGE, P.E.
 Date: 01/20/21 Lic. No. 49180

ENGINEERS SUPERVISORS
SATHRE-BERGQUIST, INC.
 150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

CITY PROJECT NO.
 NORTH OAKS,
 MINNESOTA

FINAL STREET PLAN
 GATE HILL
 NORTH OAKS

FILE NO.
 84500-018
7C
 8



EXISTING UTILITIES SHOWN ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY AND ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES ARISING OUT OF HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES.

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GH-SHEETS-UTILITY				
DRAWN BY				
CHECKED BY				
DATE				
01/18/21				

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Charles A. Wiemerslage
 CHARLES A. WIEMERSLAGE, P.E.
 Date: 01/18/21 Lic. No. 49160

SATHRE-BERGQUIST, INC.
 150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

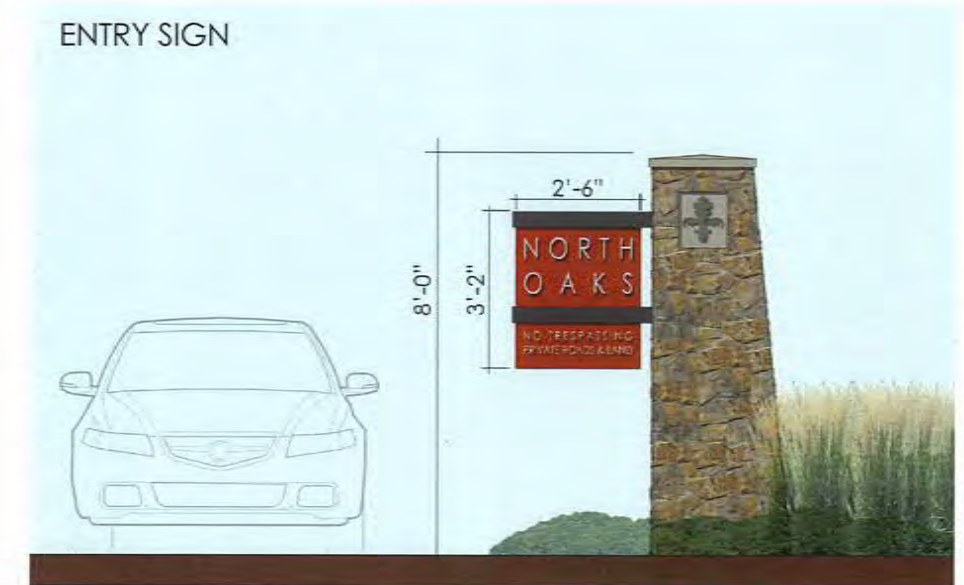
ENGINEERS SUPERVISORS
 DESIGNERS PLANNERS

CITY PROJECT NO. -

NORTH OAKS, MINNESOTA

FINAL STREET PLAN
 GATE HILL
 NORTH OAKS

FILE NO. 64500-018
 7D
 8





MAINTAIN EXISTING TREE STAND ALONG CENTERVILLE ROAD

- CENTRAL AMENITY SPACE
- PATIO/SEATING AREA
 - SPORT COURT (50X80 SHOWN)
 - LANDSCAPING



FINAL LANDSCAPE PLAN | L2

GATE HILL DEVELOPMENT
North Oaks, Minnesota

July 20, 2021

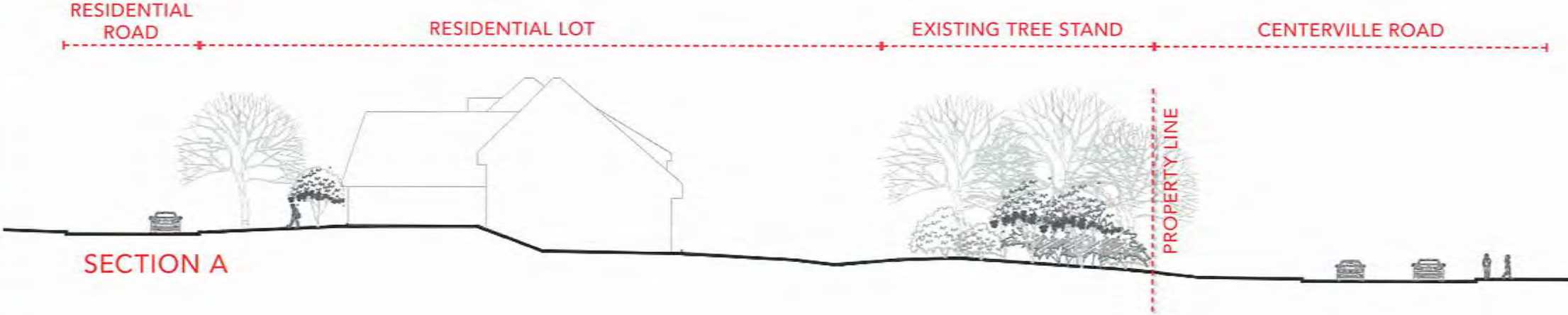




Exhibit N: Twin Home Design Samples



REGISTERED LAND SURVEY NO. _____

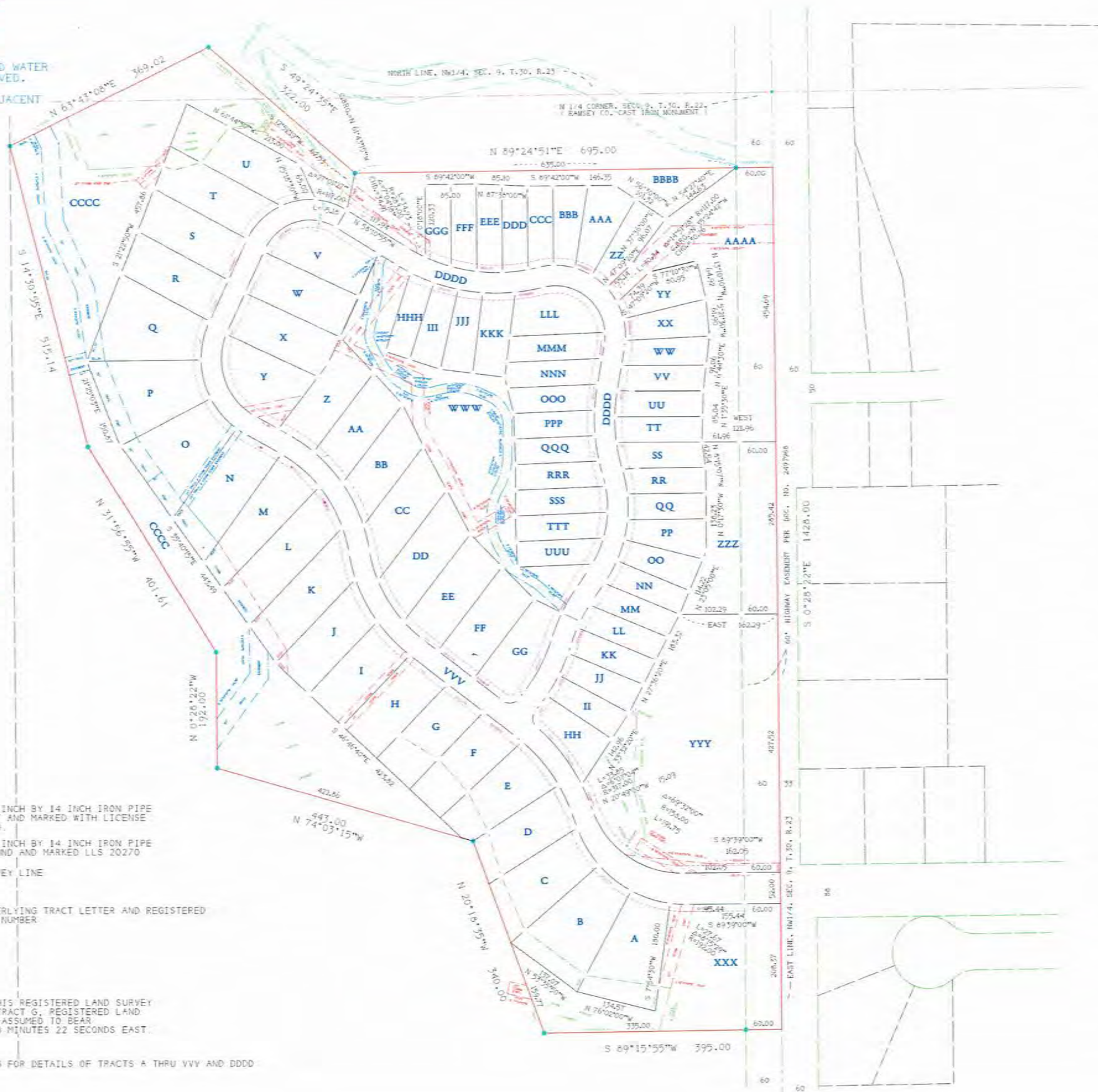
(CITY COPY)

EASEMENT RESERVATION NOTES:

ALL EASEMENTS ARE PRIVATE
NO PUBLIC EASEMENTS TO BE
RESERVED

TRACTS VVV AND DDDD ARE
ROADWAY EASEMENT FOR
INGRESS, EGRESS, UTILITY,
SANITARY & STORM SEWER AND WATER
MAIN EASEMENT TO BE RESERVED.

A 12" UTILITY EASEMENT ADJACENT
TO THE ROADWAY EASEMENT.



NOTES

DENOTES 1/2 INCH BY 14 INCH IRON PIPE
MONUMENT SET AND MARKED WITH LICENSE
NUMBER 20270.

DENOTES 1/2 INCH BY 14 INCH IRON PIPE
MONUMENT FOUND AND MARKED LLS 20270

DENOTES SURVEY LINE

DENOTES UNDERLYING TRACT LETTER AND REGISTERED
LAND SURVEY NUMBER

FOR PURPOSES OF THIS REGISTERED LAND SURVEY
THE EAST LINE OF TRACT G, REGISTERED LAND
SURVEY NO. 561 IS ASSUMED TO BEAR
SOUTH 0 DEGREES 26 MINUTES 22 SECONDS EAST.

SEE SHEETS 2 AND 3 FOR DETAILS OF TRACTS A THRU VVV AND DDDD

I, Randy L. Kurth, Professional Land Surveyor, do hereby certify that, in accordance with the provisions of Minnesota Statutes, Section 508.47, have surveyed the following described property situated in the County of Ramsey, State of Minnesota:

Tract G, Registered Land Survey No. 561:

I hereby certify that this Registered Land Survey is a correct representation of said parcel of land.

Dated this _____ day of _____, 20____

Randy L. Kurth, Professional Land Surveyor
Minnesota License No. 20270

STATE OF MINNESOTA

COUNTY OF _____

The instrument has been acknowledged before me this _____ day of _____, 20____, by Randy L. Kurth

Signed _____

Printed _____

Norary Public, Minnesota

My commission expires _____

City of North Oaks

We do hereby certify that on the _____ day of _____, 20____, the City Council of the City of North Oaks, Minnesota, has approved this Registered Land Survey.

Mayor _____

City Clerk _____

Property Tax, Records and Election Services Department

Pursuant to Minnesota Statutes, Section 508.47, Sub. 4, taxes payable in the year 20____ on the land herein before described have been paid. Also pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this _____ day of _____, 20____.

Heather L. Bestler, Ramsey County Auditor and Treasurer

By _____, Deputy

County Surveyor

Pursuant to Minnesota Statutes, Section 383A.42, this Registered Land Survey is approved this _____ day of _____, 20____.

Daniel D. Boar, Land Surveyor
Ramsey County Surveyor

Registrar of Titles, County of Ramsey, State of Minnesota

I hereby certify that this Registered Land Survey No. _____ was filed in this office this _____ day of _____, 20____, at _____ o'clock _____ M., as Document No. _____

Deputy Registrar of Titles _____

Exhibit O: Registered Land Survey (RLS)

GATE HILL FINAL PLAN/FINAL PLAT

SUBMISSION REQUIREMENTS AND PROCESS

1999 EAST OAKS PDA (AS AMENDED)

The East Oaks PDA requires that final plans be submitted and approved for all development sites within the East Oaks Development.

Prior to Final Plan Approval Developer Shall Comply with the Following Requirements:

PDA Final Plan Approval Requirement	Item Required to be Filed with City	Has Item Been Filed with City? (Y/N or N/A)	Notes/Specific Reference to Document and Page Number for Submission
	Model deed restrictions, covenants, and restrictions, and any proposed HOA documents, articles of incorporation or bylaws or other documents controlling the use and maintenance of land within the Development Site; proposed declarations (see Sections 2.4, 7.1, of the PDA; See Model Development Contract Sections 3.8 and 9.1)	Y	Received and forwarded to NOHOA.
	Final Plan must conform with the PDA unless otherwise approved by the Council	Y	As approved by PZ and City Council.
	Final Plan must conform with the East Oaks Project Master Development Plan unless otherwise approved by the Council	Y	As approved by PZ and City Council.
	Final Plan must conform with the preliminary plan for the development site unless otherwise approved by the Council	Y	As approved by PZ and City Council.
	Submit soil boring as required by the City Engineer	Y	Ensuring design compliance during plan review
	Submit final road designs as required by the City Engineer	Y	Comments provided for incorporation into final plans
	Submit typical pavement sections as required by the City Engineer	Y	Comments provided for incorporation into final plans

	Submit grading quantities for the roadways as required by the City Engineer	Y	Provided for entire site
	Submit overall detailed grading plans and a narrative which addresses how Development Site grading for utilities, street, and individual Development Site Development will occur; subject to Council and VLAWMO approval	Y	Comments provided for incorporation into final plans
	Review and recommendation from VLAWMO	Y	Comments provided for incorporation into final plans
	Submit overall detailed grading plans which include an overall erosion control plan which addresses erosion control and protection of surface water quality; subject to Council and VLAWMO approval	Y	Comments provided for incorporation into final plans
	Review and recommendation from VLAWMO	Y	Comments provided and will be on final plans
	Obtain all necessary approvals, permits, and licenses from the City	Y	Some City approvals will be conditions of final plan approval (e.g., execution of development agreement)
	Obtain all necessary approvals, permits, and licenses from other regulatory entities and agencies with jurisdiction over the Development Site	Y	Some agency approvals will be conditions of final plan approval (e.g., recording of the RLS with County)
	Major design requirements of the City shall be determined prior to construction and incorporated into the Final Plan	Y	Comments provided for incorporation into final plans
	Major design requirements of other regulatory entities and agencies with jurisdiction over the development site shall be determined prior to construction and incorporated into the Final Plan	Y	Comments provided, with additional meetings for incorporation into final plans

	City Engineer must approve Developer's Contract for installation of all utilities	TBD	City Engineer review during site development.
--	---	-----	---

CHAPTER 152: SUBDIVISION REGULATIONS

Section 152.022: Approval of Plat

City Code Section 152.022: Approval of Plat	Item Required to be Filed with City	Has Item Been Filed with City? (Y/N or N/A)	Notes/Specific Reference to Document and Page Number for Submission
	An original and 20 copies of the final drawing	Y	Per City Staff, received by City
	Certificate of surveyor	Y	Comments provided for incorporation into final plan
	Legal description of parcel to be subdivided	Y	Application; plans
	Owner's statement (if subdivider is not owner)	N/A	Subdivider is owner
	Notarized certificate of all mortgage holders acknowledging adoption of plat	N/A	No mortgage per Developer
	Proof of ownership (registered property certificate)	Y	
	Performance bond (unless Council determines subdivider is responsible and financially sound) in the amount equal to 1.5 x the City Engineer's estimated cost of the required improvements to guarantee completion of improvements and payment of city attorney fees	N/A	Not provided; will be provided as part of Development Agreement as is typical practice.
	Two (2) copies of the final plat (NOTE: Plat is defined as a Registered Land Survey) showing the location, width, and type of each easement and any other special provisions	Y	Comments provided for incorporation into final plans
	Detailed descriptions, similar to those contained in the individual warranty deeds, of each easement and special provision, including the legal description of location, restrictions as to use of land where	Y	Easements shown on plat; included in easement binder.

	easement is located or provision applies, and right of use of and access to easement		
	If easements are moved slightly during road construction process, a final record or as-built plat is to be submitted showing final easement locations	Y	Will be reviewed with NOHOA and during construction. Changes will be captured on as-builts

CONDITIONS INCLUDED IN PRELIMINARY PLAN APPROVAL
RESOLUTION NO. 1411

Resolution No. 1403	Requirement from Preliminary Plan Approval	Has Item Been Completed (Y/N or N/A)	Notes/Specific Reference to Document and Page Number for Submission
	All applicable Preliminary Plan submissions shall be modified to illustrate 20 twin home buildings which match the layout depicted on the Site Plan Alternative dated September 30, 2020, referred to as Exhibit I, and on file with the City.	Y	Change has been made
	The configuration and width of the proposed emergency access easement to the site shall be subject to review and approval by the Lake Johanna Fire Department.	Y	Comments provided for incorporation into final plans
	The proposed primary on-street trail shall be eliminated and relocated west of Lots 1 through 21. Connections to such primary trail shall be provided between Lots 14 and 15 and east of Lot 21 (as illustrated on the Preliminary Plan). The applicant shall work with NOHOA in determining exact trail locations.	Y	Change has been made
	The applicant shall work with the North Oaks Home Owners Association (NOHOA) in determining specific activities which will take place within designated "open space" areas and related maintenance responsibilities.	Y	Comments provided and will be on final plans
	As a condition of Final Plan approval, detailed plans of the twin home buildings shall be provided which specify exterior finish materials and building dimensions	Y	To be provided as condition of Final Plan approval
	The following minimum principal building setbacks shall be satisfied: Principal Building to Roadway Easements: Front: 15 feet Side: 20 feet Rear: 20 feet Principal Building to Principal Building: Front to front: 40 feet Side to side: 15 feet Rear to rear: 50 feet Principal Building to	Y	Met

	Wetlands: 30 feet		
	As a means of clarifying required setback requirements the notes on the Site Plan drawing shall be modified to reference minimum “required” setbacks as outlined in the PDA.	Y	Change has been made
	Twin home building 30 shall exhibit an east side yard setback of not less than 7.5 feet (from the property line) and twin home building 32 shall exhibit a rear yard setback of not less than 25 feet (from the property line).	Y	Change has been made
	To visually improve the appearance of open space areas and their ease of maintenance, uniform rear lot lines shall be provided for the twin homes, similar to rear lot lines depicted for the detached single-family home lots within the subdivision.	Y	Change has been made
	The narrow, oddly shaped (triangular) open space remnants between twin home lots shall be eliminated and incorporated into the abutting twin home lots.	Y	Change has been made
	Side lot lines of twin home lots shall be extended to roadway easement lines, such that front lot lines follow-roadway easement lines.	Y	Change has been made
	In compliance with Section A.3.d of Appendix A of the PDA related to driveway separation requirements (not closer than 10 feet apart, unless they are shared) twin home dwellings shall be served by shared (abutting) driveways.	Y	Comments provided and will be on final plans
	The notes on the submitted Site Plan shall be revised to reflect the actual number of guest parking spaces to be constructed.	Y	Comments provided and will be on final plans
	Each “guest parking” stall shall measure not less than 10 feet in width and 20 feet in depth.	Y	Comments provided and will be on final plans
	In accordance with PDA requirements, driveway widths shall not exceed 18 feet in width at the curb line.	Y	Comments provided and will be on final plans
	Where practical, the applicant shall comply with the following recommendations of the City Forester in an effort to preserve/save trees upon the subject site:	Y	Comments provided and will be on final plans

	<p>A. Fell all trees to be removed towards the centerline of the street to limit injury to saved trees.</p> <p>B. Install tree protection fence immediately after tree removals. Make sure fence is restored by contractors on site and immediately raise fence if it is compromised. Pre-construction meetings are an excellent time to implement the seriousness of tree preservation efforts and penalties for violations.</p> <p>C. If grade changes are excessive retaining walls may be a viable option.</p> <p>D. Do not place fill around save trees.</p> <p>E. If save trees are going to be preserved within the construction limits armor trees with 2X4's to reduce the chance of mechanical injury to the trunk.</p> <p>F. After harvesting, blow chipped tops of trees along tree protection fencing to help reduce soil compaction from construction equipment and moderate soil temperatures and moisture levels.</p>		
	<p>Before preserving save trees on edges make sure they are healthy (good structure, no decay, etc.) and will not become a hazard tree within a few years. An arborist or City Forester assessment may be justified for individual trees.</p>	Y	Comments provided and will be on final plans
	<p>Root cutting and growth hormone regulator treatments for high value trees are also options that could be implemented.</p>	Y	Comments provided and will be on final plans
	<p>Brushing of understory material outside of construction limits may be an option since it is 99 percent buckthorn. An inventory to look for any nonbuckthorn species could be incorporated to mark and avoid those shrubs during buckthorn removal. Care should be taken to minimize impacts to soil during this process. Scraping off of any topsoil should be prohibited as 90 percent of the tree's roots are within the top one foot of soil.</p>	Y	Comments provided and will be on final plans
	<p>Follow the oak wilt protocol as recommended by the City Forester.</p>	Y	Comments provided and will be on final plans
	<p>The applicant shall work with the City Forester and lot purchasers and explore options to preserve trees located upon all lots within the subdivision.</p>	Y	Comments provided and

			will be on final plans
	<p>The proposed monument sign shall satisfy the following conditions:</p> <p>A. Not exceed 8 feet in height as measured from the finished grade.</p> <p>B. Not extend into adjacent road easement.</p> <p>C. Not obstruct the view of oncoming traffic.</p> <p>D. Include landscaping around the base consisting of shrubs, flowers, and ornamental trees, notwithstanding the provisions of Section 151.034 of the Ordinance.</p> <p>E. No exposed neon lighting on sign.</p> <p>F. Designed to be compatible with adjacent building architecture.</p> <p>G. The sign face shall not exceed 80 square feet for each side of the sign.</p>	Y	Comments provided and will be on final plans
	<p>The developer shall enter into a development agreement with the City (the form of which shall be acceptable to the City) and post all necessary securities required by it and pay all required fees and costs including all City planning, engineering, and legal fees. The development agreement shall specifically require execution of a stormwater facilities maintenance agreement and other necessary conditions and shall be recorded against the subject property</p>	Y	Comments provided and will be on final plans
	<p>The applicant shall comply with, respond to and/address all engineering comments and all required conditions found on pages 13 through 21 of the City Staff report dated October 29, 2020.</p>	Y	Comments provided and will be on final plans for all below
	<p>The geometrics and alignment of the proposed roadway at the intersection of Centerville Road (CSAH No. 59) and County Road H2 E shall be reviewed and approved by Ramsey County Public Works.</p> <p>Verification from Ramsey County confirming geometrics and alignment should be provided with final construction plans.</p>		

	<p>A typical street section is shown on the plan. Staff recommends a 28-inch-wide mountable concrete curb and gutter with 2% cross slope be provided for this development, with a B-6 concrete barrier curb at the radii of the intersection and at the guest parking stalls.</p> <p>Plan and profile information shall be provided for roadways and trail system as part of final construction plans.</p> <p>The proposed site plan shall be submitted to the Lake Johanna fire department for review and comment. Proposed recommendations shall be incorporated into final plans.</p> <p>The applicant's engineer shall submit a pavement design with the final construction plans, in accordance with Geotechnical recommendations. The design shall be completed in accordance with the MnDOT Flexible Pavement Design as outlined in the Road Design Manual. The street section shall be designed for a minimum 7-ton design and a 20-year design life.</p> <p>Proposed bituminous shall be placed in two lifts. The final lift shall be placed one construction season after the utilities have been installed within the street limits.</p> <p>A Traffic Impact Memorandum, prepared by Westwood, has been submitted and identifies potential impacts associated with proposed residential units shown in the Gate Hill plan. According to industry standard Trip Generation calculations and preliminary discussions with Ramsey County Engineering, it appears that the County volume guideline for warranting turn lanes along Centerville Road, or signalization at the intersection may be exceeded. Further analysis, including traffic counts and modeling, may be required by the County and should be included with final plans. Confirmation from Ramsey County will be provided with application review and approval of Street Access Permit.</p>		
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	<p>A right turn slip lane shall be provided on the south side of the proposed roadway at the intersection of Centerville Road.</p> <p>Details of grading tie in at Centerville Road shall be included with final construction plans.</p> <p>Staff recommends adding an ADA accessible parking stall to the proposed 5 guest parking stalls, located northerly of the proposed tee intersection. An ADA accessible access shall also be provided from the stall to the proposed pedestrian access to the amenity area.</p> <p>The applicant shall verify the proposed primary trail alignment and termination point with NOHOA at the southwestern portion of the development.</p> <p>The final plan shall provide a typical section for the combined primary trail and emergency access driveway. The typical section shall be approved by NOHOA and the Lake Johanna Fire Department.</p> <p>Staff recommends the final site plan, and construction plans include, but are not limited to the following:</p> <ul style="list-style-type: none"> a. Phase limits b. Proposed street names c. Proposed street light standard locations d. Existing trees to be saved e. 30 MPH speed limit sign to be located approximately 150 to 200 feet from Centerville Road along the north side of the roadway. <p>The existing sanitary sewer stub as shown on the plan appears it was constructed to a slope of approximately 2 percent. It is recommended that proposed MH 0 be shifted to the east to near the end of the existing stub.</p> <p>A minimum sanitary sewer pipe slope of 0.5percent(typical)shall be provided. Also, 0.1-foot drop across each manhole (typical) shall be provided.</p>		
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	<p>Final construction plans shall identify the sewer service locations and wye stationing from the downstream manhole, as well as invert elevation at the end of the service.</p> <p>Final sanitary sewer construction plans shall be reviewed and approved by the City Engineer and by White Bear Township’s Public Works Department.</p> <p>Proposed gate valves and hydrants shall be illustrated on the final construction plans. Fire hydrant locations shall be reviewed and approved by the Lake Johanna Fire Marshall.</p> <p>The placement sewer and water services beneath the proposed driveways(typical)shall be avoided.</p> <p>Verify 20 psi residual pressure is provided at all proposed fire hydrants, including at temporary hydrants placed at phase limits, at the fire flow required by the Lake Johanna Fire Marshall. The applicant shall coordinate flow tests of the existing water system with White Bear Township Public Works.</p> <p>The applicant shall provide clarification of the proposed future trunk watermain improvements along Centerville Road. The trunk watermain extension to connect to the proposed watermain loop from Gate Hill will be required when the loop extension is constructed.</p> <p>The proposed sewer and water service to serve the twin home unit (#16 as shown on the plan) shall be revised with the final construction plan.</p> <p>The proposed storm water management and drainage system and site grading design shall conform to the requirements of the current City of North Oaks Surface Water Management Plan. This includes volume control, rate control and water quality requirements to mitigate new impervious areas. A storm water management report, outlining the design analysis for the site, including exhibits</p>		
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	<p>and calculations shall be submitted for review and approval with the final construction plans.</p> <p>Details of stormwater basin design, including typical cross sections and details for outlet structures shall be included in the final construction plans and shall adhere to recommendations found within the geotechnical report based on soil borings and field verified ground water elevations.</p> <p>The applicant’s engineer shall determine if a filtration basin needs to be added to the Pond 1 drainage system. The final plans shall include this basin, if required.</p> <p>Provide a skimmer system for the pond outlet pipes with the final construction plans.</p> <p>Storm sewer structures with sumps and SAFL baffles shall be provided to minimize downstream sedimentation.</p> <p>The proposed storm sewer and site grading final design and construction plans shall be reviewed and approved by the City Engineer, and VLAWMO.</p> <p>The proposed trail location to the south conflicts with proposed CBMH C4. The proposed low point location and trail access design shall be reviewed with the development of the final plans. The design shall meet ADA guidelines, if NOHOA indicates the proposed primary trail is to meet ADA standards.</p> <p>The applicant shall review the location of existing trees with the final grade design to determine if any trees can be saved at, or near the proposed cut/fill limit in proposed green space areas. Identify existing trees to be saved and protected on the final construction plans in accordance with City Forester recommendations.</p> <p>A Geotechnical report shall be submitted with the final construction plans. The applicant’s soils engineer shall estimate the ground water levels</p>		
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	<p>within the site based on soil boring verification. It is recommended that lowest floor elevations for the development be located a minimum of 4 feet above the estimated ground water level, or as recommended by the Soils Engineer.</p> <p>The longitudinal slopes of driveways be designed at a minimum of 3 percent, and a maximum of 10 percent.</p> <p>Proposed grades around the perimeter of the proposed homes shall meet the requirements of the State Building Code.</p> <p>Proposed drainage swales between homes shall be modified to direct drainage away from the home to the swale (typical for all lots).</p> <p>Drainage in the rear lots to the east of the amenity area shall be revised such that flow is not directed over the proposed trail surface.</p> <p>All EOF points and elevations for roadway and greenspace emergency overflow locations shall be labeled on the final grading plans.</p> <p>The applicant's structural engineer shall complete the design and final construction plans for proposed retaining walls exceeding a height of 4 feet. All walls within wetland setback areas shall be reviewed and approved by VLAWMO.</p> <p>Walls shall be designed to accommodate necessary stormwater runoff or drainage patterns shall be revised in final design such that runoff is not directed over the walls.</p> <p>A fence is required at the top of all retaining walls since the walls exceed a height of 2.5 feet. A fence detail shall be provided with the final plans.</p> <p>Provide earthwork volume calculations with the construction plan submittal to the City.</p>		
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	<p>The proposed building elevations shown on this plan sheet exceed the minimum separation requirements identified in the Surface Water Management Plan (SWMP). Section 7 of the SWMP indicates a minimum required separation of 3 feet from the building exposed opening to the 100-year high water level (HWL), and 1.5 feet from the building exposed opening to the emergency overflow elevation (EOF).</p> <p>The final plans shall identify and provide a graded access bench to and around Ponds 1, 2 and 3 for future maintenance. The access surface to be a minimum width of 10 feet at a minimum cross slope of 3 percent and a maximum longitudinal slope of 10%.</p> <p>AutoTurn shall be used to analyze and design the horizontal alignment based on a tandem axle dump truck.</p> <p>The proposed access shall be reviewed and approved by NOHOA.</p> <p>The 100-year high water elevation for all site surface water features, including wetlands, shall be determined, and shown on the final grading plan. These high-water elevations should be reviewed as a part of the building permit review process for the adjoining lots.</p> <p>The emergency overflow locations and elevations (EOF) shall be identified on the final grading plan for all surface water features, based on actual field topographic survey information. These EOF elevations should be reviewed as a part of the building permit review process for each adjoining lot.</p> <p>Riprap will not be required at the inlet end of proposed culverts, unless the velocity of the flow at the inlet requires this type of erosion protection.</p> <p>A Geotechnical report shall be provided. Report shall indicate soil boring locations, including</p>		
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	<p>ground water conditions at locations which align with proposed road, stormwater management facilities and utilities.</p> <p>The applicant’s geotechnical engineer shall provide a recommended separation from the basement floor to the estimated groundwater surface elevation for each proposed lot as well as be updated with final construction plans to include infiltration rates and design recommendations for the any proposed infiltration areas based on applicable borings.</p> <p>A drain tile system shall be provided on the street subgrade surface at the street low points, per Geotechnical report, if poorly draining subgrade soil type exists.</p> <p>Final grading plan shall include high point elevations, grade breaks, typical slopes and drainage arrows.</p> <p>Final construction plans shall include locations and details for all proposed site sedimentation and erosion control BMPs, including plans for temporary stormwater management BMPs and protection of permanent BMPs during construction.</p> <p>The applicant shall contact NOHOA and determine if the proposed primary trail must be designed to meet ADA standards. The final construction plan must reflect any required changes.</p> <p>The proposed homes meet the minimum required separation of 3 feet from the building exposed opening to the 100 year high water level (HWL), and 1.5 feet from the building exposed opening to the emergency overflow elevation (EOF)-with the following exceptions.</p> <p>Revise the grade design with the final plan submittal to provide 1.5 feet of separation from the building exposed opening to the EOF for the following lots:</p>		
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	<p>a. Twin home units located south of the proposed guest parking stalls.</p> <p>b. Single family homes located on lots 15, 24 and 26, 29). The proposed storm sewer and site grading final design and construction plans shall be reviewed and approved by the City Engineer with consideration of VLAWMO recommendations.</p> <p>All small utilities including, but not limited to gas, telephone, electric shall be placed underground in accordance with the provisions of all applicable City ordinances.</p> <p>All utilities to be located in the floodplain shall be flood proofed in accordance with the building code or elevated above the flood protection elevation.</p> <p>Wetlands</p> <p>No wetland impacts are proposed as part of the preliminary plan design.</p> <p>Any potential wetland impacts, mitigation, and conformance to WCA requirements shall be reviewed by VLAWMO as the LGU.</p> <p>Final plans shall illustrate the required width of buffer strips along the perimeter of wetlands, and the proposed ponds in accordance with City-approved VLAWMO policies.</p> <p>The final construction plans shall identify the buffer limits and any buffer plantings or protection per VLAWMO Water Management Policy.</p> <p>EOF locations into wetlands shall be reinforced according to city approved VLAWMO recommendations.</p> <p>Final plans shall include details for restoration of wetland buffer areas per VLAWMO policies.</p>		
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	<p>Any additional wetland delineation requirements shall be confirmed with VLAWMO as the LGU and provided as part of final construction plans.</p> <p>Signage:</p> <p>1) Local street signage, including necessary stop condition signage, meeting City of North Oaks standards shall be included in final construction plans.</p> <p>2) Fire lane signage shall be provided in accordance with the requirements of the Lake Johanna Fire Department.</p> <p>Easements:</p> <p>1) Roadway easements shall be a minimum of 50 feet in width.</p> <p>2) Proposed Drainage easements shall fully encompass all stormwater management facilities as well as emergency overflow routes.</p> <p>3) Section 13.3 of the PDA indicates a minimum width of 30 feet is to be provided for “primary” trails. The proposed trail easement at the northern part of the site is drawn to a width of 30 feet, however, the easement is labeled as 20 feet. Revise plan from 20 to 30 feet.</p> <p>4) The proposed trail easement located within Lots 13, 14 and 15 is shown to be 20 feet wide and not 30 feet as required by the PDA. It is recommended that the trail easement width be increased to 30 feet.</p> <p>5) The proposed trail easement located in Open Space 3 at the south side of the subdivision does not match the proposed trail alignment as shown on the site plan. The proposed trail easement shall be modified as a part of the final plan development and shall be centered on the proposed trail alignment.</p>		
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	<p>6) All proposed storm sewer and watermain easements are shown at a width of 15 feet. Such easements shall be modified to a width of 20 feet and shall be centered on the proposed utility. The width of 20 feet is required to provide maintenance of the utility in the future.</p> <p>7) Provide easements for the proposed off-site improvements located near the proposed pond at the southeast portion of the property for the storm sewer pipe and to cover the 100-year HWL elevation of the pond.</p> <p>8) Provide a utility easement over the proposed watermain located along the south side of the proposed roadway near Centerville Road.</p> <p>9) Applicant’s surveyor to verify if additional utility easement is required along the front of proposed lot 12. Utility easement limit to be 10 feet from the center of the proposed watermain.</p> <p>10) Applicant’s surveyor to verify all proposed easements are centered on the proposed utility as shown on the final plan as a part of the final easement development.</p> <p>11) Provide a utility easement, 20 feet in width, centered on the existing drainage swale located between the proposed flared end section near Wetland 2 to the property line.</p> <p>12) Conservation easements shall be provided to cover the buffer strip areas, if recommended by VLAWMO. The easement documents shall conform to the requirements of VLAWMO.</p> <p>13) Easements for roadways, drainage swales, utilities, ponds, wetlands, etc. shall be dedicated on the final RLS as shown in the preliminary plan/preliminary plat and shall be determined to be sufficient for all necessary site drainage, utility and roadway access and maintenance.</p>		
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	<p>14) The proposed easements for utilities shall be a minimum of 20 feet and be centered on the utility.</p> <p>Approvals/Permits:</p> <p>1) The final design and construction plans shall be reviewed and approved by the City Engineer.</p> <p>2) Copies of all approved permits (Minnesota Department of Health for watermain, MPCA for sanitary sewer and NPDES, Ramsey County, VLAWMO, etc.) shall be provided to the City Engineer upon receipt from each agency.</p> <p>Other Engineering Comments</p> <p>1) All final construction plans shall include applicable plan legends to facilitate comprehensive plan review.</p> <p>2) Diligence in plan review prior to submittal of final construction plans to resolve Preliminary plan typos and inconsistencies.</p> <p>3) Please remove all gender specific pronoun references on the preliminary engineering plans.</p> <p>4) Existing conditions plan shall include field verification dates for topographic survey. Topographic contours on Civil Plans appear to differ from the existing conditions plan. Please verify elevations in the field as part of final plan development.</p> <p>5) A proposed landscaping/amenity detail plan shall be provided with final construction plans for common areas.</p> <p>6) Final construction plans shall incorporate redlined engineering plan review as applicable.</p>		
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▷ 2550 University Avenue West | Suite 400N | St. Paul, MN 55114
Main 651.644.4389 + Fax 651.644.9446

▷ HRGREEN.COM

September 8, 2021

Mr. Kevin Kress
City Administrator
City of North Oaks

Re: Gate Hill – Final Engineering Plan Review Combined Comments

Dear Kevin:

The Gate Hill Development plans have been submitted for review. The engineering documents have been received, addressed, sorted and filed, and an engineering plan review has been completed on the following final plan sheets:

Sheet 1

Sheet 4A, 4B, 4C, 4D

Sheet 5A, 5B, 5C, 5D

Sheet 6A, 6B, 6C, 6D, 6E

Sheet 7A

A summary of the review comments for the sheets above are as follows:

SHEET 1

1. Watermain and CR H2 looping connection to be finalized

SHEET 4A

2. Provide additional pond information and details
3. Provide additional stormwater details

SHEET 4B

4. Confirm/verify retaining wall within wetland buffer
5. Provide additional wall information
6. Confirm wetland setback type and classification

SHEET 4C

7. Provide additional wall information
8. Provide additional raingarden drainage details and information

SHEET 4D

9. Provide additional notes to reinstall silt fence at access locations if disturbed
10. Add information that filtration areas cannot be used for temporary sedimentation basins

SHEET 5A

11. Ensure details are sized appropriately to be legible
12. Correct roadway easement width
13. Remove DIP watermain reference.

SHEET 5B

14. Confirm crossings do not create a conflict
15. Ensure labelling is legible on field plan sheets
16. Identify riser on plans or in legend
17. Provide additional sanitary sewer details
18. Connection at County Road H2 to be determined and finalized

SHEET 5C

19. Confirm elevations to eliminate conflicts
20. Provide additional plan information

SHEET 5D

21. Connection at County Road H2 to be determined and finalized
22. Confirm high point, place hydrant or blow off assembly at high point
23. Confirm PVC watermain pipe material
24. Provide casing for watermain roadway crossings
25. Detail watermain connection elevations with casings and roadway crossings

SHEET 6A

26. Provide additional casing information

SHEET 6B

27. Provide additional and clarify existing details

SHEET 6C

28. Clarify information

SHEET 6D

29. Clarify BSBL



Kevin Kress
September 8, 2021

SHEET 6E

- 30. Show all Confirm detail information
- 31. Ensure information is legible

SHEET 7A

- 32. Ensure detail information is legible

General Comments –

- 33. NOHOA comments under review for further additions

Thank you for the opportunity to perform the engineering plan review on the Gate Hill Development. Please accept these review comments. If you have any questions, or need any additional information, please contact John Morast at jmorast@hrgreen.com or at 763.710.1514.

Sincerely,

A handwritten signature in blue ink that reads 'John W. Morast'.

HR GREEN, INC
John W. Morast, PE
Regional Director



651.792.7765
nohoa@nohoa.org
100 Village Center Drive | Suite 240
North Oaks, MN | 55327

September 8, 2021

The Honorable Kara Ries, Mayor
Council Persons: James Hara, Rich Dujmovic, Tom Watson, and Sara Shaw
City of North Oaks
100 Village Center Drive, Suite 230
North Oaks, MN 55127

RE: East Oaks PDA – Gate Hill Final Plans

Dear Mayor Ries and Councilmembers Hara, Dujmovic, Watson, and Shah:

The North Oaks Home Owners' Association (NOHOA) has reviewed the final plans dated June 30, 2021, submitted by the North Oaks Company (NOC) for the Gate Hill development site. NOHOA has focused on those components of the development proposal for which it will ultimately be responsible to maintain, such as roads and trails.

The following comments and concerns summarize NOHOA's recommendations, additional requested information, and required plan modifications if the development is to be accepted into the Association. NOHOA respectfully requests that the City incorporate these very important concerns as they appear in this document, into any authorizations or approvals it may issue.

1. NOHOA is working with NOC to identify the location, and amenities to be included in an active recreational area on the site. The final details have not been determined and NOHOA reserves the right to comment on other aspects of the plan that might impact that space.
2. As with other developments on the east side, no details or timeline have been provided for the construction of the primary north/south trail that will connect Gate Hill to NOHOA's larger trail network. NOC should provide details on the location of this trail and the proposed timeframe for its construction.
3. NOHOA has previously stated that ownership and maintenance responsibilities of the stormwater infrastructure are being reviewed by the Board. The North Oaks Company has agreed to continue to manage and maintain the infrastructure until the study conducted by NOHOA has been completed and a decision is reached.

The following are NOHOA's comments regarding the final plans:

- **The setback information listed does not match the setback information provided on the Plat documents. Verification of the setbacks should be completed with the City and modified accordingly.**
- **The notes indicate 20 guest parking stalls, but only 12 guest parking stalls are shown on the plan.**

Final Plat (Sheets 1A, 2, & 3)

- **The setback information listed does not match the setback information provided on the Civil plans. Verification of the setbacks should be completed with the City and modified accordingly.**
- **The storm ponding easement for the infiltration pond located near the Centerville Road entrance north of the new road should be extended to the road easement, to ensure access to the infiltration pond for future maintenance.**
- **The Company should provide the written easement documents for review to ensure adequate rights are provided in the event NOHOA accepts the development into the Association.**
- **The Company should provide information on who will own the roadway tracts VVV and DDDD along with the ownership of the open space parcels.**
- **The road easement appears to be only covering back of curb to back of curb. NOHOA recommends a minimum width of 50 feet or 10 feet behind the back of the curb, whichever is greater, to provide sufficient room for snow storage and maintenance.**
- **Drainage and utility easements should be provided down the shared lot lines for conveyance of drainage.**
- **The hatching designated as sanitary sewer/water main easement is also used for storm sewer easement areas. Modify the hatching or the legend.**
- **There are trail easements shown to the exterior limits of the property. Documentation should be provided for the existing easement areas that provide connection to the larger trail system or additional easements should be granted at this time to allow for connection to the larger trail system.**

Final Grading Plan (Sheets 4A, 4B, 4C)

- **Trail connections to the larger NOHOA system should be constructed with the development even if they are outside this property.**
- **Provide information on the section to be used and the final surface of the trails and emergency access points.**
- **The trails should be graded with a 12-foot width with no more than a 2% cross slope. The final finished surface should be centered on the 12 foot width and be 8 feet wide.**

- Trails should be elevated so that runoff does not cross over the trail. Ditches should be added to the east side of the trail behind lots 15, 16, 17 and continuing north. Ditches should be provided on both sides of the trail from the road to the west trail so that water does not run down the trail.
- NOC should show the grading impacts of the west trail north of lot 17 to the end of the trail construction.
- A culvert should be added under the west trail to convey water from the wetland receiving the Pond #3 stormwater to the larger wetland complex to the west of the trail.
- A ditch should be graded on the west side of the emergency access.
- Concrete pedestrian ramps should be provided at all trail connection to the concrete curbed street.
- The low point between lots 14 and 15 should be shifted away from the trail connection to the street or the trail connection relocated.
- There are several areas where the grading for the development is occurring outside of the development property. There are also retaining walls that extend outside the development property. Permanent retaining wall easements must be provided for all work outside the development boundary.
- There are several areas where grading and wall construction is within the standard 30-foot wetland setback area. NOHOA does not typically allow retaining walls within 30-feet of the wetland edge. Watershed approval of these impacts should be provided at a minimum.
- The Company should provide documentation indicating who will be responsible for the maintenance of retaining walls that cross several lots and are on the open space properties.
- Swales should be graded down shared lot lines to allow conveyance of runoff in these areas.
- Spot elevation should be added to the east/north side of the trail by Pond #2 to ensure the drainage goes into the pond and not directly into the wetland.
- The infiltration bench on Pond 1 should be increased in size to match the drawdown times of the other infiltration areas which are 20 to 25 hours.
- A better (less steep) access should be provided to Pond #1 for future maintenance access. Consider utilizing more of open space #2 to lessen the grade of the access. The access must be fully contained within an easement.
- Some of the NWL and HWL of the ponds listed on the plan do not match the elevations listed in the drainage calculations. Please verify the correct elevations and adjust accordingly.

Final Erosion Control Plan (Sheet 4D)

- A post grading silt fence is shown in open space #1. What is the purpose of this installation?

Final Sanitary Sewer and Watermain Plan (Sheets 5A, 5B, 5C, 5D)

- One of the sheets specify the watermain as 8" DIP and the others specify 8" PVC C900 DR18. Are multiple materials being utilized? If plastic watermain is used, a tracer wire should be installed along the main line pipe in addition to the services.

Final Storm Sewer Plan (Sheets 6A, 6B, 6C, 6D, 6E)

- Exterior Chimney seals should be installed on all structures including sanitary sewer and storm sewer structures.
- The infiltration bench is proposed as 100% sand filter media. What is the plan for establishment of vegetation of this bench in pure sand?
- A clean-out should be installed on the end of all drain tile runs.
- SAFL baffles should be added in the storm manholes with sumps.
- The 18" storm pipe between CBMH A3 and CBMH A2 should be lowered to provide more cover over the pipe near CBMH A2.
- STMH C4 should be moved so that it is outside the trail surface.
- Drain tile lines are shown along the property lines between lots 23 and 24 and between lots 26 and 27. They should be covered by a utility easement.
- The Outlet Structure 3 detail in the plans indicated the elevation of the 6" weir slot at 917.0, but the detail in the drainage calculations indicate an elevation of the weir slot at 916.5. Verify correct elevation and modify both accordingly.

Final Street Plans

- The typical section detail for the street indicates "12" Select Granular Borrow Spec. 3733.2 Geotextile Filter Fabric Type V (if required)". The geotechnical report indicated 18" of sand subbase should be utilized. The granular borrow thickness should be increased to 18" and the "if required" portion of the note should be removed. Drain tile should be added to the typical section to provide drainage of the sand section.
- NOHOA recommends a 2% cross slope be used on the street.
- Typical fire hydrant spacing is between 200 and 250 feet. There appears to be more hydrants than necessary to provide adequate fire protection. NOHOA recommends the fire chief comment on this item.

General Comments

- County approvals for the new street access and the utility work within the Centerville Road right-of-way should be provided.
- No Storm Water Pollution Prevention Plan (SWPPP) was provided for the project. A SWPPP must be provided for review and approval and an NPDES permit must be obtained before any construction occurs.

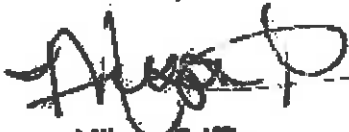
NOHOA requests the right to review and make additional recommendations and comments as plans are subsequently revised and additional information is provided.

The Gate Hill development is subject to NOHOA's governing documents, policies, procedures, and rules. In addition, it is expected that development of the Gate Hill site will comply with all conditions set forth by local, state, and federal agencies. Prior to acceptance into NOHOA, the Gate Hill development will be reviewed for compliance with all such requirements and the developer will be required to address any issues identified by NOHOA.

Furthermore, NOHOA requests that no development declarations be recorded or given to purchasers until NOHOA has approved them. NOHOA will not be bound by any declarations that are not reviewed and approved by NOHOA.

If you have any questions or would like to discuss any of these comments further, please contact NOHOA.

Sincerely,

A handwritten signature in black ink, appearing to read "Mikeya Griffin", written over a horizontal dashed line.

**Mikeya Griffin
Executive Director**

**cc: Kevin Kress, City Administrator
Mark Houge, President, North Oaks Company
NOHOA Board of Directors**

**CITY OF NORTH OAKS
RAMSEY COUNTY, MINNESOTA
RESOLUTION NO. 1433**

**RESOLUTION APPROVING FINAL PLANS/PLAT/SUBDIVISION FOR GATE
HILL SITE**

WHEREAS, North Oaks Company, LLC (the “Developer”) has applied for final plan/plat (subdivision) approval for the subdivision of certain real property owned by North Oaks Company LLC commonly referred to as the “Gate Hill” and located within the City of North Oaks, Ramsey County, Minnesota and legally described as follows:

Tract G, REGISTERED LAND SURVEY NO. 561

WHEREAS, Tract G, REGISTERED LAND SURVEY NO. 561 is subject to the terms and conditions of, and identified as Site G in, the 1999 East Oaks Planned Development Agreement, as subsequently amended (the “East Oaks PDA”) and is zoned Residential Commercial Mixed—Planned Unit Development (RCM-PUD); and

WHEREAS, pursuant to Resolution No. 1403 adopted by the North Oaks City Council on November 12, 2020, the City Council approved the preliminary plan/plat (subdivision) of the Gate Hill Site; and

WHEREAS, Developer subsequently submitted an Application dated July 2, 2021 for final plan/plat (subdivision) approval to the City with final revised documents received on July 20, 2021; and

WHEREAS, the City Council has reviewed the application for final plan/plat (subdivision) approval for the Gate Hill site.

NOW THEREFORE, BE IT RESOLVED, that the City Council of the City of North Oaks, Ramsey County, Minnesota, having reviewed the Application for Final Plan/Plat (subdivision) and related materials in the September 9, 2021 Council Packet hereby **APPROVES** the Application for Final Plan/Plat (subdivision) for the real property legally described above and commonly known as the Gate Hill Site, subject to the following conditions:

1. The final plans listed below and on file with the city are hereby **APPROVED**, subject to completion of the required revisions by the City Engineer and such future revisions as may be permitted by the City Engineer:

Existing Conditions prepared by Kurth Surveying, Inc. and dated June 30, 2021.

Final Plat/Plan prepared by Kurth Surveying, Inc. and dated June 30, 2021

Final Plat/Easement Plan prepared by Kurth Surveying, Inc. and dated June 30, 2021

Final Site Plan prepared by Sathre-Bergquist and dated June 30, 2021.

Final Grading and Erosion Plan prepared by Sathre- Bergquist, Inc. and dated June 30, 2021

Final Utility Plan prepared by Sathre- Bergquist, Inc. and dated June 30, 2021

Final Sanitary Sewer and Watermain Plans prepared by Sathre- Bergquist, Inc. and dated June 30, 2021

Final Storm Sewer Plan prepared by Sathre- Bergquist, Inc. and dated June 30, 2021

Final Street Plan prepared by Sathre- Bergquist, Inc. and dated June 30, 2021

2. Final plans shall be revised to address the City Engineer's and City Planner's comments. Upon revision, final plans and any necessary associated documents shall be provided to the City.
3. The following minimum principal structure setbacks shall be satisfied:

Principal Building to Roadway Easements:

Front:	15 feet
Side:	20 feet
Rear:	20 feet

Principal Building to Adjacent Principal Buildings:

Front to front:	40 feet
Side to side:	15 feet
Rear to rear:	50 feet

Wetlands:	30 feet
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4. The developer shall enter into a Development Agreement with the City, the form of which shall be acceptable to the City, and post all necessary securities required by it and pay all required fees and costs, including all City planning, engineering, and legal fees.

5. The Development Agreement shall be recorded against each of the Tracts created by the subdivision of the Gate Hill Parel prior to conveyance of any Tract to a third party.
6. Addendum-10 to the Joint Powers Agreement with White Bear Township relating to the Gate Hill Development is approved.
7. The street name shall be Spring Farm Road.

Adopted by the City Council of the City of North Oaks this 9th day of September, 2021.

Ayes:

Nays:

By: _____

Kara Ries

Its: Mayor

Attested:

By: _____

Kevin Kress

Its: City Administrator

**CITY OF NORTH OAKS
RAMSEY COUNTY, MINNESOTA
RESOLUTION NO. _____**

**RESOLUTION DENYING FINAL PLANS/PLAT/SUBDIVISION FOR GATE
HILL SITE**

WHEREAS, North Oaks Company, LLC (the “Developer”) has applied for final plan/plat (subdivision) approval for the subdivision of certain real property owned by North Oaks Company LLC commonly referred to as the “Gate Hill” and located within the City of North Oaks, Ramsey County, Minnesota and legally described as follows:

Tract G, REGISTERED LAND SURVEY NO. 561

WHEREAS, Tract G, REGISTERED LAND SURVEY NO. 561 is subject to the terms and conditions of, and identified as Site G in, the 1999 East Oaks Planned Development Agreement, as subsequently amended (the “East Oaks PDA”) and is zoned Residential Commercial Mixed—Planned Unit Development (RCM-PUD); and

WHEREAS, pursuant to Resolution No. 1403 adopted by the North Oaks City Council on November 12, 2020, the City Council approved the preliminary plan/plat (subdivision) of the Gate Hill Site; and

WHEREAS, Developer subsequently submitted an Application dated July 2, 2021 for final plan/plat (subdivision) approval to the City with final revised documents received on July 20, 2021; and

WHEREAS, the City Council has reviewed the application for final plan/plat (subdivision) approval for the Gate Hill site.

NOW THEREFORE, BE IT RESOLVED, that the City Council of the City of North Oaks, Ramsey County, Minnesota, having reviewed the Application for Final Plan/Plat (subdivision) and related materials hereby **DENIES** the Application for Final Plan/Plat (subdivision) for the real property legally described above and commonly known as the Gate Hill Site, based on the following reasons:

[insert reasons]

Adopted by the City Council of the City of North Oaks this 9th day of September, 2021.

Ayes:

Nays:

By: _____
Kara Ries

Its: Mayor

Attested:

By: _____

Kevin Kress

Its: City Administrator

CITY OF NORTH OAKS DRAFT 2022 BUDGET

9/02/21 Draft

DRAFT 2022 EXPENDITURES

ActCode	DEPT Descr	OBJ Descr	2020 Budget	12/31/20	% of Budget	2021 Budget	8/12/2021	% of Budget	UnderLine	2022 Budget
101-41100-103	LEGISLATIVE -	WAGES - PART TIME/TEMP	\$12,200	\$12,645.00	103.65%	\$13,950.00	\$4,545.00	32.58%	CC/PC wages 675/mayor;	\$12,600.00
101-41100-311	LEGISLATIVE -	CONFERENCES/SEMINARS	\$1,500	\$224.00	14.93%	\$1,500.00	\$573.85	38.26%	LMC/training	\$800.00
101-41100-313	LEGISLATIVE -	CONTRACT SERVICES	\$0.00	\$10,636.41		\$12,000.00	\$7,280.50		Timesavers	\$10,000.00
101-41100-350	LEGISLATIVE -	PUBLISHING & ADVERTISING	\$3,500	\$2,018.72	57.68%	\$2,500.00	\$1,798.18	71.93%	Legal/P.H	\$2,200.00
101-41100-433	LEGISLATIVE -	DUES AND SUBSCRIPTIONS	\$17,200	\$16,681.60	96.99%	\$15,000.00	\$11,161.43	74.41%	NWYFS/LMC/MCMA	\$15,000.00
101-41300-101	CITY	WAGES - FULL TIME	\$181,113	\$178,203.70	98.39%	\$188,000.00	\$109,924.64	58.47%		\$199,983.00
101-41300-103	CITY	WAGES - PART TIME/TEMP	\$48,515	\$51,863.28	106.90%	\$48,500.00	\$26,474.44	54.59%		\$54,495.00
101-41300-122	CITY	FICA CONTRIBUTIONS	\$17,567	\$18,751.45	106.74%	\$18,666.00	\$11,600.28	62.15%		\$20,050.00
101-41300-127	CITY	DEFERRED COMP	\$0	\$0.00			\$0.00			\$0
101-41300-131	CITY	HEALTH, DENTAL, LIFE, LTD INS	\$60,484	\$43,028.08	71.14%	\$82,519.00	\$28,908.31	35.03%	PERA/Health	\$82,388.00
101-41300-131	CITY	CAR ALLOWANCE	\$4,000	\$3,999.96	100.00%	\$4,000.00	\$2,666.64	66.67%	Car Allowance	\$4,000.00
101-41300-210	CITY	OPERATING SUPPLIES	\$27,000	\$16,645.19	61.65%	\$30,000.00	\$14,328.39	47.76%	Office/IT/Software	\$30,000.00
101-41300-309	CITY	COMPUTER/INTERNET/GIS	\$18,348	\$56,586.87	308.41%	\$30,000.00	\$24,001.51	80.01%	Granicus/Polco/Comcast	\$60,000.00
101-41300-310	CITY	TRAINING	\$9,800	\$742.46	7.58%	\$9,800.00	\$920.00	9.39%	League/MCMA/MAMA	\$3,000.00
101-41300-321	CITY	TELEPHONE SERVICES	\$1,742	\$0.00	0.00%		\$0.00			
101-41300-322	CITY	MAILBOXES	\$0	\$11,312.00		\$10,000.00	\$2,316.00		passthrough	\$5,000.00
101-41300-350	CITY	PUBLISHING & ADVERTISING	\$0.00	\$92.00			\$0.00		CUP Filings	\$552.00
101-41300-360	CITY	INSURANCE	\$20,000	\$17,755.00	88.78%	\$20,000.00	\$18,613.00	93.07%		\$20,000.00
101-41300-381	CITY	ELECTRIC UTILITIES	\$1,000	\$1,178.46	117.85%	\$1,200.00	\$618.02	51.50%		\$1,200.00
101-41300-410	CITY	RENTALS	\$130,000	\$106,167.56	81.67%	\$110,000.00	\$71,230.78	64.76%	Office Rent	\$108,000.00
101-41300-430	CITY	MISCELLANEOUS EXPENSE	\$40,000	\$28,639.81	71.60%	\$15,000.00	\$6,075.70	40.50%	Website/Domain/OPG	\$15,000.00
101-41300-435	CITY	BANK SERVICE CHARGE	\$0	\$0.00		\$0	\$0.00			
101-41400-300	ELECTIONS	PROFESSIONAL SERVICES	\$18,000.00	\$15,276.07	84.87%	\$18,000.00	\$11,480.07	63.78%	Election Contracts	\$18,000.00
101-41420-300	CABLE TV	PROFESSIONAL SERVICES	\$41,000.00	\$37,721.37	92.00%	\$30,000.00	\$17,533.03	58.44%		\$39,000.00
101-41500-301	FINANCE	AUDIT SERVICES	\$16,000.00	\$16,000.00	100.00%	\$16,400.00	\$16,500.00	100.61%	AEM - 3 year contract	\$16,800.00
101-41600-304	LEGAL	LEGAL FEES - GENERAL	\$57,000.00	\$44,682.00	78.39%	\$60,000.00	\$15,094.50	25.16%	Kennedy & Graven	\$40,000.00
101-41600-315	LEGAL	LEGAL FEES - PROSECUTION	\$13,500	\$13,130.52	97.26%	\$13,500.00	\$6,142.51	45.50%	Kelly & Lemmons	\$13,104.00
101-41900-300	ENGINEERING	PROFESSIONAL SERVICES	\$2,500	\$0.00	0.00%		\$0.00		Wenck	\$0.00
101-41900-303	ENGINEERING	ENGINEERING SERVICES	\$18,000	\$37,411.39	207.84%	\$18,000.00	\$34,724.81	192.92%	HR Green	\$60,000.00
101-41910-300	PLANNING	PROFESSIONAL SERVICES	\$12,000	\$15,468.00	128.90%	\$12,000.00	\$8,017.20	66.81%	N.A.C./Bob Kirmis	\$12,000.00
101-42100-313	POLICE	CONTRACT SERVICES	\$798,201	\$827,606.77	103.68%	\$838,796.00	\$591,477.79	70.52%	Police Contract	\$905,000.00
101-42200-313	FIRE	CONTRACT SERVICES	\$353,061	\$353,060.84	100.00%	\$381,389.00	\$378,086.84	99.13%	LJFD	\$402,000.00
101-42300-300	EMERGENCY	PROFESSIONAL SERVICES	\$1,000	\$1,173.05	117.31%	\$1,000.00	\$499.55	49.96%	Gopher State	\$1,000.00
101-42300-313	EMERGENCY	CONTRACT SERVICES		\$0.00			\$0			

DRAFT 2022 EXPENDITURES (CONTINUED)

101-42400-300	BUILDING	PROFESSIONAL SERVICES	\$1,000	\$171.00	17.10%	\$1,000.00	\$0.00	0.00%	Other Inspections	\$500.00
101-42400-313	BUILDING	CONTRACT SERVICES	\$120,000	\$256,379.73	213.65%	\$120,000.00	\$124,403.33	103.67%	Bldg/Mech/Plumb/Eng.	\$300,000.00
101-42400-451	BUILDING	BUILDING PERMIT SURCHARGE	\$5,000	\$11,217.19	224.34%	\$5,000.00	\$4,732.97	94.66%	Surcharge	\$5,000.00
101-43100-381	STREETS	ELECTRIC UTILITIES	\$2,500	\$2,932.38	117.30%	\$2,500.00	\$949.25	37.97%		\$3,000.00
101-43100-408	STREETS	STREETS/SIDEWALK/CURB	\$2,500	\$20,198.99	807.96%	\$15,000.00	\$0.00	0.00%	Mel's Service	\$5,500.00
101-43200-384	RECYCLING	RECYCLING	\$275,000	\$301,854.22	109.77%	\$330,000.00	\$180,244.57	54.62%		\$330,000.00
101-43200-384	RECYCLING	RECYCLING (Clean Up Day)	\$12,000	\$11,440.60	95.34%	\$12,000.00	\$6,786.70	56.56%	Clean Up/Recycle Day	\$12,000.00
101-45100-470	RECREATION-	COMMUNITY FUNCTIONS	\$500	\$0.00	0.00%		\$0.00			
101-46100-316	NATURAL	TREE PRESERVATION	\$45,000	\$60,140.27	133.65%	\$45,000.00	\$18,759.80	41.69%	City Forester	\$45,000.00
101-46100-317	NATURAL	DEER MANAGEMENT	\$25,000	\$25,170.93	100.68%	\$25,000.00	\$16,356.33	65.43%	Depends on # of deer	\$15,000.00
101-46100-318	NATURAL	NATURAL RESOURCES	\$6,500	\$3,617.98	55.66%	\$6,500.00	\$862.99	13.28%	NRC	\$6,500.00
101-46100-319	NATURAL	WEED MANAGEMENT	\$0	\$0.00			\$0.00		Lake Weed Management	\$0
101-49450-313	SEWER	CONTRACT SERVICES	\$13,000	\$17,194.00	132.26%	\$13,000.00	\$7,450.00	57.31%	Septic Inspector	\$15,000.00
101-49990-720	UNALLOCATED	TRANSFER OUT	\$0.00	\$148,050.00		\$50,000.00			Fire Capital	\$200,000.00
101-49990-720	UNALLOCATED	TRANSFER OUT	\$0.00	\$0.00		\$50,000.00			Police Capital	\$50,000.00
101-49990-720	UNALLOCATED	TRANSFER OUT	\$0.00	\$0.00					General Capital	
			\$2,432,231.00	\$2,797,068.85		\$2,676,720.00	\$1,783,138.91			\$3,138,672.00

ActCode	DEPT Descr	OBJ Descr	2020 Budget	12/31/20	% of Budget	2021 Budget	8/12/2021	% of Budget	UnderLine
306-47000-601	DEBT SERVICE	BOND PRINCIPAL	\$55,000.00	\$55,000.00			\$55,000.00		LGWA Bond
306-47000-611	DEBT SERVICE	BOND INTEREST	\$2,974.00	\$2,973.75			\$2,245.00		
306-47000-620	DEBT SERVICE	PAYING AGENT FEES	\$500.00	\$500.00			\$500.00		
400-41910-300	PLANNING	PROFESSIONAL SERVICES	\$10,000.00	\$154.30			\$1,657.50		Comp Plan
400-41910-303	PLANNING	ENGINEERING SERVICES	\$100.00	\$3,812.63			\$5,193.50		Comp Plan
400-43100-408	STREETS	STREETS/SIDEWALK/CURB	\$0.00	\$0.00					
400-46100-318	NATURAL	NATURAL RESOURCES	\$0.00	\$0.00					
401-42200-500	FIRE	CAPITAL OUTLAY	\$38,366.00	\$184,177.97			\$756.00		Fire Expenses
402-49450-430	SEWER	MISCELLANEOUS EXPENSE	\$0.00	\$0.00					
403-47000-720	DEBT SERVICE	TRANSFER OUT	\$0.00	\$0.00					
403-49450-430	SEWER	MISCELLANEOUS EXPENSE	\$0.00	\$0.00					
404-42100-500	POLICE	CAPITAL OUTLAY				NEW FUND	NEW FUND		Police Expenses
406-43000-381	PUBLIC WORKS	ELECTRIC UTILITIES	\$1,000.00	\$665.17			\$2,013.95		

SEWER & WATER EXPENSE BUDGET

WATER & SEWER									
601-41000-420	DEPRECIATION	DEPRECIATION	\$0.00	\$0.00					
601-49400-255	WATER	WATER METERS	\$0.00	\$0.00					
601-49400-313	WATER	CONTRACT		\$6,250.00					
601-49400-330	WATER	SEWER & WATER MISC	\$0.00	\$10,272.09			\$890.24		
601-49400-381	WATER	ELECTRIC UTILITIES	\$0.00	\$445.30			\$298.70		
601-49400-382	WATER	WATER - SHOREVIEW	\$0.00	\$134,623.82			\$26,231.81		
601-49400-383	WATER	WATER - WBT	\$0.00	\$40,049.00			\$17,140.00		
602-41000-420	DEPRECIATION	DEPRECIATION	\$0.00	\$0.00					
602-49450-313	SEWER	CONTRACT		\$6,250.00			\$236.32		
602-49450-381	SEWER	ELECTRIC UTILITIES	\$0.00	\$2,876.48			\$2,028.20		
602-49450-385	SEWER	SEWER	\$0.00	\$74,664.26		\$71,433.00	\$47,622.08		
602-49450-400	SEWER	REPAIRS AND MAINTENANCE	\$0.00	\$29,977.80			\$18,943.60		
602-49450-430	SEWER	MISCELLANEOUS EXPENSE	\$0.00	\$16,209.95			\$46,955.85		
602-49450-455	SEWER	SAC FEES	\$0.00	\$19,681.20			\$4,920.30		
			\$2,540,171	\$3,385,653		\$2,676,720.00	\$1,783,138.91		

DRAFT 2022 REVENUES

ActCode	DEPT Descr	OBJ Descr	2020 Budget	12/31/20	% of Budget	2021 Budget	8/12/2021	% of Budget	UnderLine	2022 Budget
101-31010	COUNCIL	GENERAL PROPERTY TAXES	\$1,860,700	\$1,864,478.77	100.20%	\$1,974,877.00	\$1,038,558.74	52.59%		\$2,051,403.00
101-31810	COUNCIL	CABLE T.V. FEES	\$65,000	\$90,171.39	138.73%	\$65,000.00	\$49,913.86	76.79%		\$ 90,000.00
101-32110	COUNCIL	ALCOHOLIC BEV LICENSE	\$5,650	\$12,950.00	229.20%	\$5,650.00	\$0.00	0.00%		\$ 5,650.00
101-32111	COUNCIL	TOBACCO LICENSE	\$600	\$1,000.00	166.67%	\$600.00	\$0.00	0.00%		\$ 600.00
101-32112	COUNCIL	MESSAGE THERAPY LICENSE	\$50	\$50.00	100.00%	\$50.00	\$0.00	0.00%	N/A	-
101-32160	COUNCIL	CONTRACTOR LICENSES	\$8,000	\$14,063.00	175.79%	\$8,052.00	\$6,330.00	78.61%		\$ 9,000.00
101-32210	COUNCIL	BUILDING PERMIT	\$145,000	\$336,279.27	231.92%	\$145,000.00	\$194,967.53	134.46%		\$ 500,000.00
101-32230	COUNCIL	HEAT/PLUMB PERMIT	\$22,000	\$50,725.30	230.57%	\$22,000.00	\$18,845.85	85.66%		\$ 25,000.00
101-32240	COUNCIL	ANIMAL LICENSE	\$1,500	\$1,185.00	79.00%	\$1,500.00	\$810.00	54.00%		\$ 1,000.00
101-32260	COUNCIL	STATE SURCHARGE	\$7,000	\$11,715.56	167.37%	\$7,000.00	\$7,028.59	100.41%		\$ 10,000.00
101-32261	COUNCIL	ISTS PERMIT	\$4,000	\$10,695.00	267.38%	\$4,000.00	\$7,045.00	176.13%		\$ 7,000.00
101-32262	COUNCIL	RENTAL LICENSE FEE	\$1,000	\$900.00	90.00%	\$1,000.00	\$800.00	80.00%		\$ 1,000.00
101-32263	COUNCIL	SHORELAND/FORESTRY PERMIT	\$500	\$650.00	130.00%	\$500.00	\$0.00	0.00%		\$ 300.00
101-32264	COUNCIL	ISTS PUMPING RECORDS	\$5,000	\$12,488.00	249.76%	\$5,000.00	\$3,700.00	74.00%		\$ 5,000.00
101-33429	COUNCIL	PERA RATE INCREASE AID	\$308	\$0.00	0.00%	\$308.00	\$0.00	0.00%		\$ -
101-33440	COUNCIL	SCORE GRANT	\$12,000	\$15,224.00	126.87%	\$12,000.00	\$0.00	0.00%		\$ 14,000.00
101-33600	COUNCIL	OTHER GOVT GRANTS/AID	\$0.00	\$399,605.00			\$36,869.38		Cares funding/Small Cities	
101-34103	COUNCIL	VARIANCE, PUD, PLAT FEES, CUP	\$2,400	\$9,047.50	376.98%	\$2,400.00	\$4,050.00	168.75%		\$3,600.00
101-34110	COUNCIL	ELECTION FILING FEE	\$0.00	\$4.00			\$0.00			
101-34120	COUNCIL	CERTIFICATE OF OCCUPANCY FEE	\$500	\$350.00	70.00%	\$500.00	\$200.00	40.00%		\$ 300.00
101-34403	COUNCIL	RECYCLING FEES	\$0	\$0.00		\$416.00	\$8,776.85		Eureka	\$ 10,800.00
101-35100	COUNCIL	FINES AND FORFEITS	\$2,500	\$1,781.25	71.25%	\$2,500.00	\$2,978.41	119.14%		\$2,500.00
101-35104	COUNCIL	LATE FEES/NSF FEES	\$500	\$1,670.00	334.00%	\$500.00	\$300.00	60.00%		\$500.00
101-36100	COUNCIL	SPECIAL ASSESSMENTS	\$275,000	\$274,731.63	99.90%	\$330,000	\$167,012.66	50.61%	Recycling Assessment	\$323,225
101-36101	COUNCIL	SPECIAL ASSESSMENTS - PMC	\$2,067	\$2,067.36	100.00%	\$2,067	\$1,033.68	50.00%	Peace Methodist Church	\$2,067
101-36200	COUNCIL	MISCELLANEOUS REVENUES	\$2,000	\$10,304.29	515.21%	\$2,000.00	\$2,386.00	119.30%	Mailboxes & Misc	\$5,000.00
101-36210	COUNCIL	INTEREST EARNINGS	\$20,000	\$8,324.57	41.62%	\$12,000	\$346.27	2.89%		\$6,000.00
101-36220	COUNCIL	RENTS	\$60,000	\$48,637.72	81.06%	\$61,800.00	\$21,307.38	34.48%	NOHOA Rent	\$54,227.00
101-36222	COUNCIL	COMMUNITY FUNCTIONS	\$1,000	\$545.00	54.50%	\$1,000.00	\$242.00	24.20%	Community Mtg Room	\$500.00
101-36240	COUNCIL	REFUNDS AND REIMBURSEMENTS	\$5,000	\$12,610.97	252.22%	\$5,000.00	\$12,959.17	259.18%	LMC & Other Rebates	\$10,000.00
			\$2,509,275	\$3,192,255		\$2,672,720.36	\$1,586,461.37			\$3,138,672.00

ActCode	DEPT Descr	OBJ Descr	2020 Budget	12/31/20	% of Budget	2021 Budget	8/12/2021	% of Budget	UnderLine
306-36100	COUNCIL	SPECIAL ASSESSMENTS	\$28,500	\$33,664.32	118.12%		\$18,234.84		LGWA Bond Assessments
306-36210	COUNCIL	INTEREST EARNINGS		\$0.00					
400-33418	COUNCIL	MNDOT STATE AID STREETS	\$0	\$0.00					
400-36210	COUNCIL	INTEREST EARNINGS		\$0.00					Special Project Interest
400-36240	COUNCIL	REFUNDS AND REIMBURSEMENTS		\$0.00					
400-39200	COUNCIL	TRANSFER IN		\$0.00					
401-36210	COUNCIL	INTEREST EARNINGS		\$51.06					
401-36240	COUNCIL	REFUNDS AND REIMBURSEMENTS	\$0.00	\$1,390.00					
401-39200	COUNCIL	TRANSFER IN		\$148,050.00					
402-36210	COUNCIL	INTEREST EARNINGS		\$0.00					
R 403-36210	403-36210	INTEREST EARNINGS	\$0.00	\$0.00					
R 403-37180	403-37180	MAINTENANCE/ESCROW FEE	\$0.00	\$0.00					
R 403-39200	403-39200	TRANSFER IN	\$0.00	\$0.00					
R 404-39200	R 404-39200	TRANSFER IN				NEW FUND	NEW FUND		Police
406-36100	COUNCIL	SPECIAL ASSESSMENTS		\$466.81			\$1,570.01		
406-36200	COUNCIL	MISCELLANEOUS REVENUES	\$1,500						LGWA Maint Assessments
406-36210	COUNCIL	INTEREST EARNINGS		\$0.00					

SEWER & WATER REVENUE BUDGET

601-36200	COUNCIL	MISCELLANEOUS REVENUES		\$4,460.84			\$1,250		
601-37100	WATER	WATER USAGE		\$141,034.26			\$23,946.14		
601-37150	WATER	WATER HOOK-UP - WBT		\$44,498.00			\$17,140.00		
601-37151	WATER	WATER HOOK-UP - CLP		\$0.00					
601-37155	WATER	WATER METER		\$650.00					
601-37180	WATER	MAINTENANCE/ESCROW FEE		\$19,885.09			\$6,018.46		
601-37500	WATER	CAPITAL CONTRIBUTION		\$0.00					
601-39200	WATER	TRANSFER IN		\$0.00					
602-36200	WATER	MISCELLANEOUS REVENUES		\$0.00					
602-37170	WATER	WBT WATER SYSTEM MAINTENANCE		\$38,493.04					
602-37180	WATER	MAINTENANCE/ESCROW FEE		\$12,654.32			\$5,462.43		
602-37200	SEWER	SEWER USAGE		\$85,746.12			\$34,630.53		
602-37250	SEWER	SEWER HOOK-UP		\$29,820.00			\$7,455.00		
602-37500	SEWER	CAPITAL CONTRIBUTION		\$0.00					
			\$2,539,275	\$3,753,118		\$2,672,720	\$1,702,169		

ActCode	DEPT Descr	OBJ Descr	2020 Budget	12/31/20	% of Budget
101-41300-210	CITY ADMINISTRATION	OPERATING SUPPLIES	\$27,000	\$16,645.19	61.65%

101-41300-309	CITY ADMINISTRATION	COMPUTER/INTERNET/	\$18,348	\$56,586.87	308.41%
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2021 Budget	8/12/2021	% of Budget	UnderLine	2022 Budget
\$30,000.00	\$14,328.39	47.76%	Office/IT/Software	\$30,000.00

\$30,000.00	\$24,001.51	80.01%	Granicus/Polco/Comc	\$50,000.00
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Marco	9024
Premium Waters	480
Staples	3500 ??
Global Payments	300
Permit Works	1495
Pittney Bows	2412
Pittney Bows - rental	349.8
Banyon - Fund	840
Banyon - Utility	840
Misc. (SOS, Twin City Hardware, Schwaab)	5000 ??
	\$ 24,240.80 total estimated

Roseville	29882.00
OPG-3	2587.91
CivicPlus	8694.79
Comcast	5437.56
SHI International	1332.46
Dell	577
Granicus	3472.88
Comcast	5451.48
	57436.08 total estimated

ActCode	DEPT Descr	OBJ Descr	2020 Budget
101-41100-103	LEGISLATIVE -	WAGES - PART TIME/TEMP	\$12,200
101-41100-311	LEGISLATIVE -	CONFERENCES/SEMINARS	\$1,500
101-41100-313	LEGISLATIVE -	CONTRACT SERVICES	\$0.00
101-41100-350	LEGISLATIVE -	PUBLISHING & ADVERTISING	\$3,500
101-41100-433	LEGISLATIVE -	DUES AND SUBSCRIPTIONS	\$17,200
101-41300-101	CITY	WAGES - FULL TIME	\$181,113
101-41300-103	CITY	WAGES - PART TIME/TEMP	\$48,515
101-41300-122	CITY	FICA CONTRIBUTIONS	\$17,567
101-41300-127	CITY	DEFERRED COMP	\$0
101-41300-131	CITY	HEALTH, DENTAL, LIFE, LTD INS	\$60,484
101-41300-131	CITY	CAR ALLOWANCE	\$4,000
101-41300-210	CITY	OPERATING SUPPLIES	\$27,000
101-41300-309	CITY	COMPUTER/INTERNET/GIS	\$18,348
101-41300-310	CITY	TRAINING	\$9,800
101-41300-321	CITY	TELEPHONE SERVICES	\$1,742
101-41300-322	CITY	MAILBOXES	\$0
101-41300-350	CITY	PUBLISHING & ADVERTISING	\$0.00
101-41300-360	CITY	INSURANCE	\$20,000
101-41300-381	CITY	ELECTRIC UTILITIES	\$1,000
101-41300-410	CITY	RENTALS	\$130,000
101-41300-430	CITY	MISCELLANEOUS EXPENSE	\$40,000
101-41300-435	CITY	BANK SERVICE CHARGE	\$0
101-41400-300	ELECTIONS	PROFESSIONAL SERVICES	\$18,000.00
101-41420-300	CABLE TV	PROFESSIONAL SERVICES	\$41,000.00
101-41500-301	FINANCE	AUDIT SERVICES	\$16,000.00
101-41600-304	LEGAL	LEGAL FEES - GENERAL	\$57,000.00
101-41600-315	LEGAL	LEGAL FEES - PROSECUTION	\$13,500
101-41900-300	ENGINEERING	PROFESSIONAL SERVICES	\$2,500
101-41900-303	ENGINEERING	ENGINEERING SERVICES	\$18,000
101-41910-300	PLANNING	PROFESSIONAL SERVICES	\$12,000
101-42100-313	POLICE	CONTRACT SERVICES	\$798,201
101-42200-313	FIRE	CONTRACT SERVICES	\$353,061
101-42300-300	EMERGENCY	PROFESSIONAL SERVICES	\$1,000
101-42300-313	EMERGENCY	CONTRACT SERVICES	

101-42400-300	BUILDING	PROFESSIONAL SERVICES	\$1,000
101-42400-313	BUILDING	CONTRACT SERVICES	\$120,000
101-42400-451	BUILDING	BUILDING PERMIT SURCHARGE	\$5,000
101-43100-381	STREETS	ELECTRIC UTILITIES	\$2,500
101-43100-408	STREETS	STREETS/SIDEWALK/CURB	\$2,500
101-43200-384	RECYCLING	RECYCLING	\$275,000

101-43200-384	RECYCLING	RECYCLING (Clean Up Day)	\$12,000
101-45100-470	RECREATION-	COMMUNITY FUNCTIONS	\$500
101-46100-316	NATURAL	TREE PRESERVATION	\$45,000
101-46100-317	NATURAL	DEER MANAGEMENT	\$25,000
101-46100-318	NATURAL	NATURAL RESOURCES	\$6,500
101-46100-319	NATURAL	WEED MANAGEMENT	\$0
101-49450-313	SEWER	CONTRACT SERVICES	\$13,000
101-49990-720	UNALLOCATED	TRANSFER OUT	\$0.00
101-49990-720	UNALLOCATED	TRANSFER OUT	\$0.00
101-49990-720	UNALLOCATED	TRANSFER OUT	\$0.00
			\$2,432,231.00

ActCode	DEPT Descr	OBJ Descr	2020 Budget
306-47000-601	DEBT SERVICE	BOND PRINCIPAL	\$55,000.00
306-47000-611	DEBT SERVICE	BOND INTEREST	\$2,974.00
306-47000-620	DEBT SERVICE	PAYING AGENT FEES	\$500.00
400-41910-300	PLANNING	PROFESSIONAL SERVICES	\$10,000.00
400-41910-303	PLANNING	ENGINEERING SERVICES	\$100.00
400-43100-408	STREETS	STREETS/SIDEWALK/CURB	\$0.00
400-46100-318	NATURAL	NATURAL RESOURCES	\$0.00
401-42200-500	FIRE	CAPITAL OUTLAY	\$38,366.00
402-49450-430	SEWER	MISCELLANEOUS EXPENSE	\$0.00
403-47000-720	DEBT SERVICE	TRANSFER OUT	\$0.00
403-49450-430	SEWER	MISCELLANEOUS EXPENSE	\$0.00
404-42100-500	POLICE	CAPITAL OUTLAY	
406-43000-381	PUBLIC WORKS	ELECTRIC UTILITIES	\$1,000.00

WATER & SEWER			
601-41000-420	DEPRECIATION	DEPRECIATION	\$0.00
601-49400-255	WATER	WATER METERS	\$0.00
601-49400-313	WATER	CONTRACT	
601-49400-330	WATER	SEWER & WATER MISC	\$0.00
601-49400-381	WATER	ELECTRIC UTILITIES	\$0.00
601-49400-382	WATER	WATER - SHOREVIEW	\$0.00
601-49400-383	WATER	WATER - WBT	\$0.00
602-41000-420	DEPRECIATION	DEPRECIATION	\$0.00
602-49450-313	SEWER	CONTRACT	
602-49450-381	SEWER	ELECTRIC UTILITIES	\$0.00
602-49450-385	SEWER	SEWER	\$0.00

602-49450-400	SEWER	REPAIRS AND MAINTENANCE	\$0.00
602-49450-430	SEWER	MISCELLANEOUS EXPENSE	\$0.00
602-49450-455	SEWER	SAC FEES	\$0.00
			\$2,540,171

ActCode	DEPT Descr	OBJ Descr	2020 Budget
101-31010	COUNCIL	GENERAL PROPERTY TAXES	\$1,860,700
101-31810	COUNCIL	CABLE T.V. FEES	\$65,000
101-32110	COUNCIL	ALCOHOLIC BEV LICENSE	\$5,650
101-32111	COUNCIL	TOBACCO LICENSE	\$600
101-32112	COUNCIL	MESSAGE THERAPY LICENSE	\$50
101-32160	COUNCIL	CONTRACTOR LICENSES	\$8,000
101-32210	COUNCIL	BUILDING PERMIT	\$145,000
101-32230	COUNCIL	HEAT/PLUMB PERMIT	\$22,000
101-32240	COUNCIL	ANIMAL LICENSE	\$1,500
101-32260	COUNCIL	STATE SURCHARGE	\$7,000
101-32261	COUNCIL	ISTS PERMIT	\$4,000
101-32262	COUNCIL	RENTAL LICENSE FEE	\$1,000
101-32263	COUNCIL	SHORELAND/FORESTRY PERMIT	\$500
101-32264	COUNCIL	ISTS PUMPING RECORDS	\$5,000
101-33429	COUNCIL	PERA RATE INCREASE AID	\$308
101-33440	COUNCIL	SCORE GRANT	\$12,000
101-33600	COUNCIL	OTHER GOVT GRANTS/AID	\$0.00
101-34103	COUNCIL	VARIANCE, PUD, PLAT FEES, CUP	\$2,400
101-34110	COUNCIL	ELECTION FILING FEE	\$0.00
101-34120	COUNCIL	CERTIFICATE OF OCCUPANCY FEE	\$500
101-34403	COUNCIL	RECYCLING FEES	\$0
101-35100	COUNCIL	FINES AND FORFEITS	\$2,500
101-35104	COUNCIL	LATE FEES/NSF FEES	\$500
101-36100	COUNCIL	SPECIAL ASSESSMENTS	\$275,000
101-36101	COUNCIL	SPECIAL ASSESSMENTS - PMC	\$2,067
101-36200	COUNCIL	MISCELLANEOUS REVENUES	\$2,000
101-36210	COUNCIL	INTEREST EARNINGS	\$20,000
101-36220	COUNCIL	RENTS	\$60,000
101-36222	COUNCIL	COMMUNITY FUNCTIONS	\$1,000
101-36240	COUNCIL	REFUNDS AND REIMBURSEMENT:	\$5,000
			\$2,509,275

ActCode	DEPT Descr	OBJ Descr	2020 Budget
306-36100	COUNCIL	SPECIAL ASSESSMENTS	\$28,500
306-36210	COUNCIL	INTEREST EARNINGS	
400-33418	COUNCIL	MNDOT STATE AID STREETS	\$0

400-36210	COUNCIL	INTEREST EARNINGS	
400-36240	COUNCIL	REFUNDS AND REIMBURSEMENTS	
400-39200	COUNCIL	TRANSFER IN	
401-36210	COUNCIL	INTEREST EARNINGS	
401-36240	COUNCIL	REFUNDS AND REIMBURSEMENTS	\$0.00
401-39200	COUNCIL	TRANSFER IN	
402-36210	COUNCIL	INTEREST EARNINGS	
R 403-36210	403-36210	INTEREST EARNINGS	\$0.00
R 403-37180	403-37180	MAINTENANCE/ESCROW FEE	\$0.00
R 403-39200	403-39200	TRANSFER IN	\$0.00
R 404-39200	R 404-39200	TRANSFER IN	
406-36100	COUNCIL	SPECIAL ASSESSMENTS	
406-36200	COUNCIL	MISCELLANEOUS REVENUES	\$1,500
406-36210	COUNCIL	INTEREST EARNINGS	
601-36200	COUNCIL	MISCELLANEOUS REVENUES	
601-37100	WATER	WATER USAGE	
601-37150	WATER	WATER HOOK-UP - WBT	
601-37151	WATER	WATER HOOK-UP - CLP	
601-37155	WATER	WATER METER	
601-37180	WATER	MAINTENANCE/ESCROW FEE	
601-37500	WATER	CAPITAL CONTRIBUTION	
601-39200	WATER	TRANSFER IN	
602-36200	WATER	MISCELLANEOUS REVENUES	
602-37170	WATER	WBT WATER SYSTEM MAINTENANCE	
602-37180	WATER	MAINTENANCE/ESCROW FEE	
602-37200	SEWER	SEWER USAGE	
602-37250	SEWER	SEWER HOOK-UP	
602-37500	SEWER	CAPITAL CONTRIBUTION	
			\$2,539,275

CITY OF NORTH OAKS DRAFT 2022 BUDGET

DRAFT 2022 EXPENDITURES

12/31/20	% of Budget	2021 Budget	8/12/2021	% of Budget
\$12,645.00	103.65%	\$13,950.00	\$4,545.00	32.58%
\$224.00	14.93%	\$1,500.00	\$573.85	38.26%
\$10,636.41		\$12,000.00	\$7,280.50	
\$2,018.72	57.68%	\$2,500.00	\$1,798.18	71.93%
\$16,681.60	96.99%	\$15,000.00	\$11,161.43	74.41%
\$178,203.70	98.39%	\$188,000.00	\$109,924.64	58.47%
\$51,863.28	106.90%	\$48,500.00	\$26,474.44	54.59%
\$18,751.45	106.74%	\$18,666.00	\$11,600.28	62.15%
\$0.00			\$0.00	
\$43,028.08	71.14%	\$82,519.00	\$28,908.31	35.03%
\$3,999.96	100.00%	\$4,000.00	\$2,666.64	66.67%
\$16,645.19	61.65%	\$30,000.00	\$14,328.39	47.76%
\$56,586.87	308.41%	\$30,000.00	\$24,001.51	80.01%
\$742.46	7.58%	\$9,800.00	\$920.00	9.39%
\$0.00	0.00%		\$0.00	
\$11,312.00		\$10,000.00	\$2,316.00	
\$92.00			\$0.00	
\$17,755.00	88.78%	\$20,000.00	\$18,613.00	93.07%
\$1,178.46	117.85%	\$1,200.00	\$618.02	51.50%
\$106,167.56	81.67%	\$110,000.00	\$71,230.78	64.76%
\$28,639.81	71.60%	\$15,000.00	\$6,075.70	40.50%
\$0.00		\$0	\$0.00	
\$15,276.07	84.87%	\$18,000.00	\$11,480.07	63.78%
\$37,721.37	92.00%	\$30,000.00	\$17,533.03	58.44%
\$16,000.00	100.00%	\$16,400.00	\$16,500.00	100.61%
\$44,682.00	78.39%	\$60,000.00	\$15,094.50	25.16%
\$13,130.52	97.26%	\$13,500.00	\$6,142.51	45.50%
\$0.00	0.00%		\$0.00	
\$37,411.39	207.84%	\$18,000.00	\$34,724.81	192.92%
\$15,468.00	128.90%	\$12,000.00	\$8,017.20	66.81%
\$827,606.77	103.68%	\$838,796.00	\$591,477.79	70.52%
\$353,060.84	100.00%	\$381,389.00	\$378,086.84	99.13%
\$1,173.05	117.31%	\$1,000.00	\$499.55	49.96%
\$0.00			\$0	

DRAFT 2022 EXPENDITURES (CONTINUED)

\$171.00	17.10%	\$1,000.00	\$0.00	0.00%
\$256,379.73	213.65%	\$120,000.00	\$124,403.33	103.67%
\$11,217.19	224.34%	\$5,000.00	\$4,732.97	94.66%
\$2,932.38	117.30%	\$2,500.00	\$949.25	37.97%
\$20,198.99	807.96%	\$15,000.00	\$0.00	0.00%
\$301,854.22	109.77%	\$330,000.00	\$180,244.57	54.62%

\$11,440.60	95.34%	\$12,000.00	\$6,786.70	56.56%
\$0.00	0.00%		\$0.00	
\$60,140.27	133.65%	\$45,000.00	\$18,759.80	41.69%
\$25,170.93	100.68%	\$25,000.00	\$16,356.33	65.43%
\$3,617.98	55.66%	\$6,500.00	\$862.99	13.28%
\$0.00			\$0.00	
\$17,194.00	132.26%	\$13,000.00	\$7,450.00	57.31%
\$148,050.00		\$50,000.00		
\$0.00		\$50,000.00		
\$0.00				
\$2,797,068.85		\$2,676,720.00	\$1,783,138.91	
12/31/20	% of Budget	2021 Budget	8/12/2021	% of Budget
\$55,000.00			\$55,000.00	
\$2,973.75			\$2,245.00	
\$500.00			\$500.00	
\$154.30			\$1,657.50	
\$3,812.63			\$5,193.50	
\$0.00				
\$0.00				
\$184,177.97			\$756.00	
\$0.00				
\$0.00				
\$0.00				
		NEW FUND	NEW FUND	
\$665.17			\$2,013.95	

SEWER & WATER EXPENSE BUDGET

\$0.00				
\$0.00				
\$6,250.00				
\$10,272.09			\$890.24	
\$445.30			\$298.70	
\$134,623.82			\$26,231.81	
\$40,049.00			\$17,140.00	
\$0.00				
\$6,250.00			\$236.32	
\$2,876.48			\$2,028.20	
\$74,664.26		\$71,433.00	\$47,622.08	

\$29,977.80			\$18,943.60	
\$16,209.95			\$46,955.85	
\$19,681.20			\$4,920.30	
\$3,385,653		\$2,676,720.00	\$1,783,138.91	

DRAFT 2022 REVENUES

12/31/20	% of Budget	2021 Budget	8/12/2021	% of Budget
\$1,864,478.77	100.20%	\$1,974,877.00	\$1,038,558.74	52.59%
\$90,171.39	138.73%	\$65,000.00	\$49,913.86	76.79%
\$12,950.00	229.20%	\$5,650.00	\$0.00	0.00%
\$1,000.00	166.67%	\$600.00	\$0.00	0.00%
\$50.00	100.00%	\$50.00	\$0.00	0.00%
\$14,063.00	175.79%	\$8,052.00	\$6,330.00	78.61%
\$336,279.27	231.92%	\$145,000.00	\$194,967.53	134.46%
\$50,725.30	230.57%	\$22,000.00	\$18,845.85	85.66%
\$1,185.00	79.00%	\$1,500.00	\$810.00	54.00%
\$11,715.56	167.37%	\$7,000.00	\$7,028.59	100.41%
\$10,695.00	267.38%	\$4,000.00	\$7,045.00	176.13%
\$900.00	90.00%	\$1,000.00	\$800.00	80.00%
\$650.00	130.00%	\$500.00	\$0.00	0.00%
\$12,488.00	249.76%	\$5,000.00	\$3,700.00	74.00%
\$0.00	0.00%	\$308.00	\$0.00	0.00%
\$15,224.00	126.87%	\$12,000.00	\$0.00	0.00%
\$399,605.00			\$36,869.38	
\$9,047.50	376.98%	\$2,400.00	\$4,050.00	168.75%
\$4.00			\$0.00	
\$350.00	70.00%	\$500.00	\$200.00	40.00%
\$0.00		\$416.00	\$8,776.85	
\$1,781.25	71.25%	\$2,500.00	\$2,978.41	119.14%
\$1,670.00	334.00%	\$500.00	\$300.00	60.00%
\$274,731.63	99.90%	\$330,000	\$167,012.66	50.61%
\$2,067.36	100.00%	\$2,067	\$1,033.68	50.00%
\$10,304.29	515.21%	\$2,000.00	\$2,386.00	119.30%
\$8,324.57	41.62%	\$12,000	\$346.27	2.89%
\$48,637.72	81.06%	\$61,800.00	\$21,307.38	34.48%
\$545.00	54.50%	\$1,000.00	\$242.00	24.20%
\$12,610.97	252.22%	\$5,000.00	\$12,959.17	259.18%
\$3,192,255		\$2,672,720.36	\$1,586,461.37	
12/31/20	% of Budget	2021 Budget	8/12/2021	% of Budget
\$33,664.32	118.12%		\$18,234.84	
\$0.00				
\$0.00				
\$0.00				

\$0.00				
\$0.00				
\$0.00				
\$51.06				
\$1,390.00				
\$148,050.00				
\$0.00				
\$0.00				
\$0.00				
\$0.00				
		NEW FUND	NEW FUND	
\$466.81			\$1,570.01	
\$0.00				

SEWER & WATER REVENUE BUDGET

\$4,460.84			\$1,250	
\$141,034.26			\$23,946.14	
\$44,498.00			\$17,140.00	
\$0.00				
\$650.00				
\$19,885.09			\$6,018.46	
\$0.00				
\$0.00				
\$0.00				
\$38,493.04				
\$12,654.32			\$5,462.43	
\$85,746.12			\$34,630.53	
\$29,820.00			\$7,455.00	
\$0.00				
\$3,753,118		\$2,672,720	\$1,702,169	

9/02/21 Draft

UnderLine	2022 Budget
CC/PC wages 675/mayor;	\$12,600.00
LMC/training	\$800.00
Timesavers	\$10,000.00
Legal/P.H	\$2,200.00
NWYFS/LMC/MCMA	\$15,000.00
	\$199,983.00
	\$54,495.00
	\$20,050.00
	\$0
PERA/Health	\$82,388.00
Car Allowance	\$4,000.00
Office/IT/Software	\$30,000.00
Granicus/Polco/Comcast	\$60,000.00
League/MCMA/MAMA	\$3,000.00
passthrough	\$5,000.00
CUP Filings	\$552.00
	\$20,000.00
	\$1,200.00
Office Rent	\$108,000.00
Website/Domain/OPG	\$15,000.00
Election Contracts	\$18,000.00
	\$39,000.00
AEM - 3 year contract	\$16,800.00
Kennedy & Graven	\$40,000.00
Kelly & Lemmons	\$13,104.00
Wenck	\$0.00
HR Green	\$60,000.00
N.A.C./Bob Kirmis	\$12,000.00
Police Contract	\$905,000.00
LJFD	\$402,000.00
Gopher State	\$1,000.00

\$917,843.00
\$1,190,628.00
\$5,000.00
\$287,000.00
\$41,000.00
\$76,500.00
\$22,200.00

See sheet 2
Roseville - 20,139 (2021); 29,882 (2022)

14900

cap per contract \$2,676,720.00

Other Inspections	\$500.00
Bldg/Mech/Plumb/Eng.	\$300,000.00
Surcharge	\$5,000.00
	\$3,000.00
Mel's Service	\$5,500.00
	\$330,000.00

80/20 Elect; 60/40 Bldg. \$858,535.00
\$1,221,185.00
\$17,500.00
\$342,000.00
\$30,000.00

Clean Up/Recycle Day	\$12,000.00
City Forester	\$45,000.00
Depends on # of deer	\$15,000.00
NRC	\$6,500.00
Lake Weed Management	\$0
Septic Inspector	\$15,000.00
Fire Capital	\$200,000.00
Police Capital	\$50,000.00
General Capital	
	\$3,138,672.00

\$76,500.00
\$31,000.00
\$100,000.00

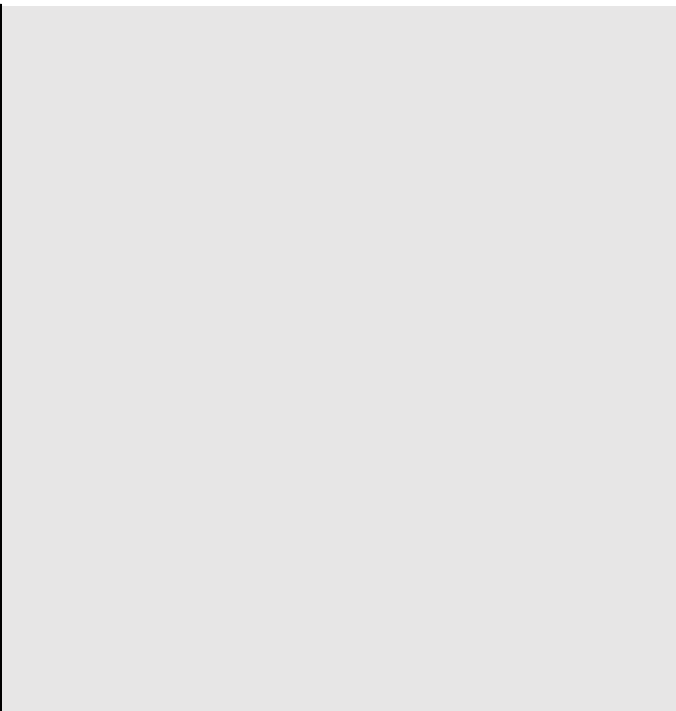
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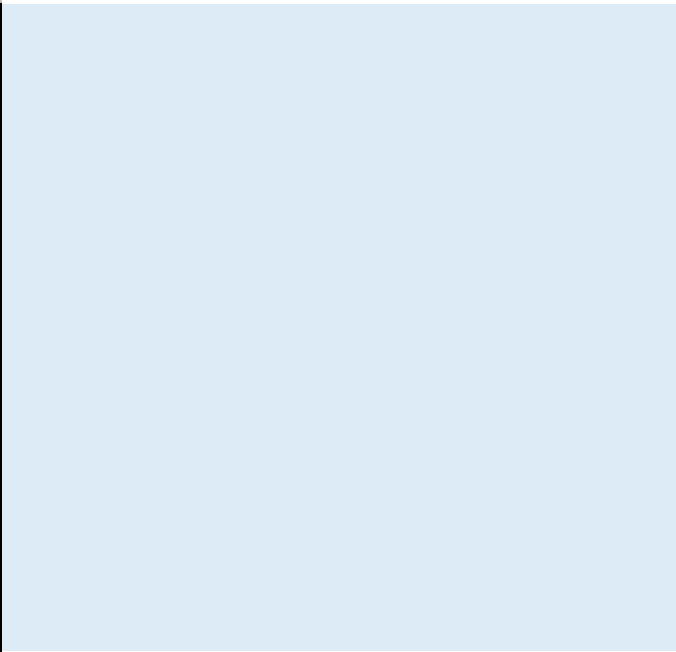
UnderLine
LGWA Bond
Comp Plan
Comp Plan
Fire Expenses
Police Expenses

UnderLine	2022 Budget	
	\$2,051,403.00	4%
	\$ 90,000.00	
	\$ 5,650.00	
	\$ 600.00	3 @ 200 (possibly 1 more)
N/A	-	
	\$ 9,000.00	
	\$ 500,000.00	
	\$ 25,000.00	
	\$ 1,000.00	
	\$ 10,000.00	
	\$ 7,000.00	
	\$ 1,000.00	
	\$ 300.00	
	\$ 5,000.00	
	\$ -	
	\$ 14,000.00	
Cares funding/Small Cities	\$3,600.00	
	\$ 300.00	
Eureka	\$ 10,800.00	
	\$2,500.00	
	\$500.00	
Recycling Assessment	\$323,225	1847 homes
Peace Methodist Church	\$2,067	
Mailboxes & Misc	\$5,000.00	
	\$6,000.00	
NOHOA Rent	\$54,227.00	approx. 5709 reimburse
Community Mtg Room	\$500.00	
LMC & Other Rebates	\$10,000.00	
	\$3,138,672.00	

UnderLine
LGWA Bond Assessments

Special Project Interest
Police
LGWA Maint Assessments





2020 Budget	2020 Actual
general	\$1,037,646.57 general
public safety	\$1,366,018.63 public safety
streets	\$23,131.37 streets
sanitation	\$313,294.82 sanitation
culture	\$37,721.37 culture
natural resource	\$88,929.18 natural resource
misc.	\$29,560.73 misc.
transfer out/addl public safety	transfer out/addl public safety

952519.71
 1351690.44
 22296.02
 287929.21
 25343.14
 87910.55
 27375.92

general	\$550,768.10 general
public safety	\$970,064.18 public safety
streets	\$949.25 streets
sanitation	\$187,031.27 sanitation
culture	\$17,533.03 culture

natural resource	\$35,979.12	natural resource
misc.	\$20,813.96	misc.
transfer out/addl public safety	\$0.00	transfer out/addl public safety

Payable in 2018	% increase	Payable in 2019	% increase	Payable in 2020	% increase	Payable in 2021	% increase	Payable in 2022	% increase
1,557,082.00	7.9%	1,697,200.00	9.0%	1,860,700.00	9.6%	1,974,877	6.1%	2,017,200	2.1%
								2,051,403	3.9%
Tax Capacity									
14,076,494		14,757,520	4.8%	15,585,881	5.6%	16,457,512	5.6%	16,803,018	2.1%
Tax Rate									
Total City Levy/City Tax Capacity = city tax rate									
11.06%		11.50%		11.94%		12.00%		12.00%	

City	School	Payable 2011	Payable 2011	% Change	% Change in Tax on Median Valued E			
		City Median Estimated Val	City Median Estimated Val	in Median Value	County	City	School	Other
North Oaks	621	578,800	558,400	-3.5%	-8.0%	3.6%	-13.4%	-6.9%
	624	"	"	"	-8.0%	3.6%	-5.1%	-6.9%

Iome	Estimated	2017	2017	2017	2017	2017	2017	2017
	Change							
-----	From 2017	EMV	TMV	Tax Cap	tax	tax	tax	
Total	Total Tax							
-9.0%	-636	578,800	578,800	5,985	3,342.63	601.32	2,713.31	
-5.8%	-410	578,800	578,800	5,985	3,342.63	601.32	2,736.08	

2017 other tax	2017 total tax	2017 county local rate	2017 City local rate	2017 school local rate	2017 other local rate	2017 total local rate
393.35	7,050.61	55.850%	10.04708713%	25.305%	6.572%	97.775%
393.35	7,073.38	55.850%	10.047%	23.476%	6.572%	95.946%

2017 School Market Rate	2017 City Market Rate	2017 Ed Credit	2017 county Ed Credit	2017 City Ed Credit	2017 school Ed Credit	2017 other Ed Credit
0.20712%		0.00	0.00	0	0	0
0.22996%		0.00	0.00	0	0	0



STATE OF MINNESOTA
COUNTY OF RAMSEY
CITY OF NORTH OAKS

RESOLUTION NUMBER xxxx
**A RESOLUTION APPROVING A PRELIMINARY 2021 TAX LEVY,
COLLECTIBLE IN 2022 AND SETTING THE TRUTH IN TAXATION
HEARING**

BE IT RESOLVED by the City Council of the City of North Oaks, County of Ramsey, Minnesota, that the following sum of money is levied for the current year, collectible in 2022, upon the taxable property in the City of North Oaks, for the following purposes:

Total levy	<u>\$2,051,403.00</u>
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BE IT FURTHER RESOLVED by the City Council of the City of North Oaks, County of Ramsey, Minnesota, that the Truth in Taxation hearing will be held on **Thursday, December 9th at 7:00 p.m.**

The City Clerk is hereby instructed to transmit a certified copy of this resolution to the County Auditor of Ramsey County, Minnesota.

PASSED BY THE COUNCIL of the City of North Oaks this 9th day of September, 2021.

APPROVED:

Kara Ries, Mayor

ATTEST:

I hereby certify that the foregoing Resolution is a true and correct copy of a Resolution presented to and adopted by the City Council of the City of North Oaks on September 9, 2021.

By: _____
Kevin Kress
Title: _____
City Administrator

**JOINT POWERS AGREEMENT BETWEEN
CITY OF SHOREVIEW, MINNESOTA,
CITY OF ARDEN HILLS, MINNESOTA,
AND
CITY OF NORTH OAKS, MINNESOTA
FOR
THE LAKE JOHANNA FIRE DEPARTMENT HEADQUARTERS**

THIS AGREEMENT is made and entered into the ___ day of _____, 2021 by and between THE CITY OF SHOREVIEW, a municipal corporation and political subdivision of the State of Minnesota, THE CITY OF ARDEN HILLS, a municipal corporation and political subdivision of the State of Minnesota, and THE CITY OF NORTH OAKS, a municipal corporation and political subdivision of the State of Minnesota (the three cities maybe referred to as the “parties”).

RECITALS

WHEREAS, each City is responsible for providing fire protection and prevention services for the people and institutions within its boundaries; and

WHEREAS, each City contracts with Lake Johanna Fire Department to provide each City’s fire protection and preventions services; and

WHEREAS, the costs of said fire protection and prevention services are allocated pursuant to contracted service agreements between the Cities and Lake Johanna Fire Department; and

WHEREAS, Lake Johanna Fire Department identified vacant property owned by Bethel University on Pine Tree Drive in the City of Arden Hills (“the Property”)as a potential site for a new fire station; and

WHEREAS, the Property is large enough to accommodate headquarters for Lake Johanna Fire Department and has improved access ideally situated to cover southern Arden Hills and Shoreview as well as the entire service area for Lake Johanna Fire Department; and

WHEREAS, Lake Johanna Fire Department’s Board of Directors authorized the Fire Chief to negotiate and execute a letter of intent to purchase the property from Bethel University; and

WHEREAS, in early April 2020, Lake Johanna Fire Department and Bethel University executed a letter of intent to purchase the Property for a purchase price of \$1.35 million; and

WHEREAS, Minnesota statutes. Section 471.59 authorizes governmental units by agreement of their governing bodies jointly and/or cooperatively to exercise any power common to the contracting parties and to provide for a joint board representing the parties to the agreement; and

WHEREAS, the purpose of this agreement is to establish a joint powers board, the Lake Johanna Fire Department Headquarters Board (“Board”) for the purposes of acquiring the

Property and constructing improvements on the Property, a headquarters for Lake Johanna Fire Department (“the Project”); and

WHEREAS, the new fire station would be owned and operated by the Board to serve the three contract cities of Arden Hills, North Oaks, and Shoreview.

AGREEMENT

NOW, THEREFORE, in consideration of the mutual undertakings herein expressed, the City of Shoreview, the City of Arden Hills, and the City of North Oaks agree as follows:

1 Lake Johanna Fire Department Headquarters Board

1.1 Composition. The Board shall be made up of five total members. Three members shall be City Councilmembers from the City of Shoreview. One member shall be a City Councilmember from the City of Arden Hills. One member shall be a City Councilmember from the City of North Oaks.

1.2 Quorum. To approve any act, the proposed action must receive at least 4/5ths vote. Quorum shall be 4 Board members.

2 Agreement between the Parties

2.1 Land Transfer. This Joint Powers Agreement is contingent upon Lake Johanna Fire Department transferring the Property to the Board.

2.2 Cost share and ownership interest. The cost share formula will be used to allocate each City’s ownership interest in the land, which is currently defined as 25% population, 25% households, 40% fire calls, and 10% assessed value.

2.3 Bond issuance. At the time financing is needed for the construction of a new station, the financing will be provided by one of the two following methods:

To the extent as authorized by law, the Board shall have the authority to independently issue bonds or obligations and use said proceeds to carry out the purpose of this agreement, construction of the Project. Said bonds or obligations may be issued in accordance with the express authority granted by the City Councils of each Party.

In the alternative, one of the cities will provide financing for the cost to construct a station, including any costs associated with the financing, and each city will annually reimburse the financing City for their portion of the debt service payment based on the cost formula. Should a station be constructed in the allotted timeline for reimbursement of the land acquisition costs, the City will include the land acquisition costs in the financing and each City will be repaid via the financing proceeds for their portion of the

land acquisition. If the Station is not constructed in the time frame that is necessary to include the property acquisition costs as part of the financing, each city will be responsible for their proportionate share of the property acquisition costs in accordance with the cost share formula in effect at the time.

2.4 Bond repayment. The bond issue will be repaid through annual appropriations by each City consistent with the cost share formula calculated and adjusted annually to account for growth and development in each City.

2.5 Station Construction. Station construction will begin no later than June 30, 2026, unless an alternative date is unanimously agreed upon by all three cities.

2.6 Development Approvals. The City of Arden Hills will review the proposed project as part of its normal development process.

2.7 Should the Lake Johanna Fire Department no longer serve the City of Arden Hills or no longer use, occupy, or otherwise cease to operate in the fire station, the fire station, at the discretion of the Board, may be used by a successor organization that provides fire protection to all the cities. Should no acceptable successor organization be identified the City of Arden Hills will have the option to reimburse the other two cities, Shoreview and North Oaks, for their respective contributions to the purchase of the land, construction of the fire station, and any applicable capital improvements to the station plus inflation as measured by the Consumer Price Index (CPI) and take ownership of the land and associated buildings.

2.8 If the Project does not move forward and the station is not constructed pursuant to paragraph 2.5, the City of Arden Hills will have the option to reimburse the other parties for their direct cost to acquire the land and any costs associated with the Project, and take ownership of the land. Should the City of Arden Hills not exercise this option, the land may be sold and the proceeds will be divided amongst the cities and fire department based on their direct costs for the land purchase and the Project.

3 Assignment, Amendments, Waiver, and Contract Complete

3.1 Assignment. No party may assign nor transfer any rights or obligations under this Agreement.

3.2 Amendments. Any amendment to this Agreement must be in writing and will not be effective until it has been signed and approved by the same parties who signed and approved the original agreement, their successors in office, or other individual duly authorized.

3.3 Waiver. If any party fails to enforce any provision of this Agreement, that failure does not waive the provision or the right to enforce it in the future.

3.4 Contract Complete. This Agreement contains all negotiations and agreements between the Cities. No other understanding regarding this Agreement, whether written or oral, may be used to bind either party. All prior oral or written agreements concerning the acquisition of land and/or construction of a fire station are hereby declared null and void. However, this language shall not apply to the Joint Powers Agreement establishing the Fire Protection Board from November 1998.

4 Liability

Each City will be responsible for its own acts and behavior and the results thereof and shall not be responsible or liable for the other party's actions and consequences of those actions. The Minnesota Municipal Tort Claims Act, Minn. Stat. Ch. 466, governs the Cities' liability.

5 Venue

Venue for all legal proceedings involving this Agreement, or its breach, must be in the appropriate state or federal court with competent jurisdiction in Ramsey County, Minnesota.

6 Signatures

This Agreement may be executed in several counterparts, and all so executed shall constitute one Agreement, binding on each City notwithstanding that each City may not be a signatory to the original of the same counterpart.

IN WITNESS WHEREOF, the Cities have hereunto set their hands the day and year first above written.

CITY OF SHOREVIEW

By: _____
Mayor

SEAL

DATED: _____, 2021

ATTEST:

City Clerk

CITY OF ARDEN HILLS

By: _____
Mayor

SEAL

DATED: _____, 2021

ATTEST:

City Clerk

CITY OF NORTH OAKS

By: _____
Mayor

SEAL

DATED: _____, 2021

ATTEST:

City Clerk

August Month in Review

August 2021



Rehder Forestry Consulting

- Homeowner calls at @ 1 Chickadee, 14 Ridge Rd, 34 North Oaks Rd, 12 Cherrywood, 8 SLLT, 55 EPLR. 9 Partridge, 23 Oriole, 14 Black Oak, 3 Fed Fox, 19 Spring Farm Ln, 1 Teal
- Tree Inspectors have begun to mark diseased trees for removal and begun the process of sending out notices to inform and educate about fatal shade tree diseases, treatment options, and deadlines for removal before the diseased trees contribute to more overland spread. So far, we have identified an estimated 80 oak wilt sites with over 140 diseased oak trees.
- Have submitted samples on select oak trees to U of M Plant Health Disease Clinic to confirm oak wilt as part of shade tree disease program.
- Working directly with residents to provide information on invasive species control such as Oriental Bittersweet and Garlic Mustard.
- Continue to make residents aware of site obstructions that impede traffic or pedestrians.
- We have provided copies to City Hall and NOHOA of the spreadsheets we use to document diseased trees so that they are available to staff as needed.